



PART 5 ACTIVITY SUBMISSION - BH273

# Canley Heights Seniors Housing

26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Lots 52, 53 & 54 of DP 225999

**Homes NSW.**





# PART 5 ACTIVITY SUBMISSION

BH273 - CANLEY HEIGHTS SENIORS HOUSING.



INDICATIVE VIEW FROM NORTH - WELWYN ROAD (INDICATIVE LANDSCAPING SHOWN)

## DRAWING SCHEDULE.

| SHEET No.           | DRAWING TITLE,                               |
|---------------------|--|
| DA-000              | COVER SHEET                                  |
| DA-001              | PROJECT DETAILS                              |
| DA-101              | CONTEXT ANALYSIS                             |
| DA-102              | CONTEXT ANALYSIS                             |
| DA-103              | SITE ANALYSIS                                |
| DA-104              | SITE ANALYSIS                                |
| DA-201              | EXISTING / DEMOLITION SITE PLAN              |
| DA-202              | PROPOSED SITE PLAN                           |
| DA-203              | PROPOSED GROUND FLOOR PLAN                   |
| DA-204              | PROPOSED LEVEL 01 PLAN                       |
| DA-205              | PROPOSED ROOF PLAN                           |
| DA-301              | PROPOSED BUILDING ELEVATIONS - NORTH & SOUTH |
| DA-302              | PROPOSED BUILDING ELEVATIONS - WEST & EAST   |
| DA-401              | PROPOSED BUILDING SECTIONS - SHEET 1         |
| DA-402              | PROPOSED BUILDING SECTIONS - SHEET 2         |
| DA-501              | UNIT TYPE PLANS                              |
| DA-601              | PERSPECTIVE VIEWS - SHEET 1                  |
| DA-602              | PERSPECTIVE VIEWS - SHEET 2                  |
| DA-701.1 - DA-701.7 | SHADOW DIAGRAMS - 21ST JUNE 9AM - 3PM        |
| DA-702              | SOLAR VIEW DIAGRAMS                          |
| DA-703              | COMPLIANCE DIAGRAMS                          |

## CONSULTANTS.

|                          |                         |
|--------------------------|-------------------------|
| LANDSCAPE ARCHITECT..... | GREENLAND DESIGN        |
| SERVICES ENGINEER.....   | ERBAS                   |
| STRUCTURAL ENGINEER..... | MSL ENGINEERS           |
| ESD CONSULTANT.....      | ERBAS                   |
| CIVIL ENGINEER.....      | MSL ENGINEERS           |
| ACOUSTIC CONSULTANT..... | ACOUSTIC LOGIC          |
| TRAFFIC CONSULTANT.....  | AMBER ORG               |
| WASTE CONSULTANT.....    | CPS                     |
| ACCESS.....              | VISTA ACCESS ARCHITECTS |
| ARBORIST.....            | NEWLEAF TREES           |

## LOCATION PLAN (NTS).





# PART 5 ACTIVITY SUBMISSION

## BH273 - CANLEY HEIGHTS SENIORS HOUSING.

### DEVELOPMENT DATA


|                     |   |  |   |                       |                          |
|---------------------|---|--|---|-----------------------|--------------------------|
| PROJECT REFERENCE   | BH273   |  |   |                       |                          |
| ADDRESS             | Nos. 26 & 28 STEVENAGE ROAD & No. 53 WELWYN ROAD, CANLEY HEIGHTS, NSW, 2166   |  |   |                       |                          |
| LOT/DP NUMBER:      | LOTS 52, 53 & 54 OF DP225999  |  |   |                       |                          |
| EXISTING LOTS:      | 3   |  |   |                       |                          |
| LGA:                | FAIRFIELD CITY COUNCIL  |  |   |                       |                          |
| ZONING:             | R2  |  |   |                       |                          |
| SITE AREA:          | 1795.8m <sup>2</sup> (INCL. DRAINAGE EASEMENT)  |  |   |                       |                          |
| PROPOSED GFA        | 895m <sup>2</sup>   |  |   |                       |                          |
| TOTAL NO. DWELLINGS | 13  |  |   |                       |                          |
| TOTAL 1 BED UNITS:  | 7   |  |   |                       |                          |
| TOTAL 2 BED UNITS:  | 6   |  |   |                       |                          |
| DWELLING No         | LOCATION  | BED  | AREA (m <sup>2</sup> )                                      | POS (m <sup>2</sup> ) | ACCESSIBILITY COMPLIANCE |
| G.01                | Ground Floor  | 2  | 74.5m <sup>2</sup>  | 21m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| G.02                | Ground Floor  | 1  | 54.0m <sup>2</sup>  | 33m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| G.03                | Ground Floor  | 1  | 54.0m <sup>2</sup>  | 34m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| G.04                | Ground Floor  | 2  | 80.0m <sup>2</sup>  | 83m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| G.05                | Ground Floor  | 1  | 55.0m <sup>2</sup>  | 32m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| G.06                | Ground Floor  | 2  | 76.9m <sup>2</sup>  | 25m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.01                | Level 01  | 2  | 74.5m <sup>2</sup>  | 11m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.02                | Level 01  | 1  | 54.0m <sup>2</sup>  | 10m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.03                | Level 01  | 1  | 54.0m <sup>2</sup>  | 10m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.04                | Level 01  | 1  | 54.0m <sup>2</sup>  | 10m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.05                | Level 01  | 2  | 80.0m <sup>2</sup>  | 13m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.06                | Level 01  | 1  | 55.0m <sup>2</sup>  | 10m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| 1.07                | Level 01  | 2  | 76.9m <sup>2</sup>  | 17m <sup>2</sup>      | SEPP HOUSING SCHEDULE 4  |
| COMMON AREAS        | 122m <sup>2</sup>   |  |   |                       |                          |
| GROSS BUILDING AREA | 1324m <sup>2</sup>  |  |   |                       |                          |
| PARKING:            | REQUIRED:<br>HOUSING SEPP<br>(ACCESSIBLE AREA)<br>7x1B x 0.4 = 2.8 spaces<br>6x2B x 0.5 = 3.0 spaces<br>TOTAL SPACES : 6<br>MIN. 1 SPACE TO AS2890.6<br>50% SPACES 3.2m WIDE OR TO AS2890.6 |  | PROVIDED:<br><br>6 SPACES<br>1 SPACE<br>3 SPACES            |                       |                          |
|                     | CONTROL   | REQUIRED   | PROPOSED  |                       |                          |
| SETBACKS            |   |  |   |                       |                          |
| PRIMARY FRONTAGE    | FAIRFIELD DCP   | 4.5m   | 6m  |                       |                          |
| SECONDARY FRONTAGE  | FAIRFIELD DCP   | 3m   | 3m  |                       |                          |
| SIDE                | FAIRFIELD DCP   | 0.9m   | 6.6m / 4.8m   |                       |                          |
| HEIGHT              | SEPP HOUSING 2021<br>FAIRFIELD LEP 2013   | 9.5m<br>9.0m   | 7.95m   |                       |                          |
| FSR                 | SEPP HOUSING<br>FAIRFIELD LEP 2013  | 0.5 : 1<br>0.45 : 1  | 0.5 : 1   |                       |                          |
| NO OF LIFTS:        |   |  | 1   |                       |                          |
| LANDSCAPED AREA     | SEPP HOUSING 2021<br>35m2 / DWELLING = 490m <sup>2</sup><br>FAIRFIELD DCP   | 35m2 / DWELLING = 490m <sup>2</sup><br><br>30% OF SITE AREA  | 640m <sup>2</sup><br><br>640m <sup>2</sup> (36%)            |                       |                          |
| DEEP SOIL           | SEPP HOUSING 2021   | 15% OF SITE AREA = 270m <sup>2</sup><br>(MIN 3.0m)   | 437m <sup>2</sup> (MIN. 3.0m)                               |                       |                          |
| SOLAR ACCESS        | SEPP HOUSING 2021   | 70% OF DWELLINGS TO<br>RECEIVE 2 HOURS OF SUNLIGHT<br>TO LIVING AREAS AND POS<br>BETWEEN 9AM AND 3PM | 77%   |                       |                          |
|                     | HOMES NSW   | ALL UNITS TO RECEIVE MIN. 15<br>MINUTES OF SOLAR ACCESS  | 100%  |                       |                          |
|                     | SLUDG   | LIVING ROOMS OF NEIGHBOURS<br>RECEIVE 3 HOURS SUNLIGHT IN<br>BETWEEN 9AM AND 3PM IN<br>MID-WINTER    | COMPLIES  |                       |                          |
| CROSS VENTILATION   | HOMES NSW / ADG   | MIN. 60% CROSS VENTILATED  | 69%   |                       |                          |
| WASTE               | FAIRFIELD DCP   | GEN. WASTE: 120L/U/WK = 7 BINS<br>RECYCLING: 80L/U/WK = 5 BINS<br>FOGO = 3 BINS                      | 15 BINS PROVIDED. COMPLIES.                                 |                       |                          |
| TREE REMOVAL        | SEPP HOUSING 2021   | RETAIN WHERE POSSIBLE<br>SIGNIFICANT TREES   | 3 TREES RETAINED (HIGH RET.)<br>4 TREES REMOVED (MED. RET.) |                       |                          |



INDICATIVE VIEW FROM NORTH EAST - WELWYN ROAD & STEVENAGE ROAD (INDICATIVE LANDSCAPING SHOWN)

### BASIX COMMITMENTS

|                            |   |  |
|----------------------------|---|--|
| <b>WATER COMMITMENTS</b>   |   |  |
| ALL UNITS                  | SHOWER HEADS  | MINIMUM 4 STARS WELS RATED   |
|                            | TOILETS   | MINIMUM 4 STARS WELS RATED   |
|                            | KITCHEN TAPS  | MINIMUM 6 STARS WELS RATED (UNITS 1, 2, 3, 4, 5 & 6 - 5 STARS WELS RATED ACCEPTABLE) |
|                            | BATHROOM TAPS   | MINIMUM 6 STARS WELS RATED (UNITS 1, 2, 3, 4, 5 & 6 - 5 STARS WELS RATED ACCEPTABLE) |
|                            | CLOTHES WASHERS   | MINIMUM 2 STARS WELS RATED   |
|                            | DISHWASHERS   | MINIMUM 2 STARS WELS RATED   |
|                            | NO ALTERNATIVE WATER SUPPLY TO UNITS  |  |
| COMMON AREAS               | 5000L CENTRAL RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 726M2 OF ROOF AREA AND 399M2 OF IMPERVIOUS AREA. IRRIGATION OF 480.91M2 OF COMMON LANDSCAPED AREA ON THE SITE. |  |
| <b>ENERGY COMMITMENTS</b>  |   |  |
| HOT WATER SYSTEMS:         | UNITS G.01, G.03, G.04, G.06, 1.01, 1.07 - HEAT PUMP - 26 TO 30 STCS  |  |
|                            | UNITS G.02, G.05, 1.02, 1.03, 1.04, 1.05, 1.06 - ELECTRIC STORAGE   |  |
| ALL UNITS VENTILATION:     | EACH BATHROOM/LAUNDRY INDIVIDUAL FAN DUCTUED TO FACADE OR ROOF INTERLOCKED TO LIGHT WITH TIMER OFF.   |  |
|                            | EACH KITCHEN - INDIVIDUAL FAN DUCTED TO FACADE OR ROOF WITH MANUAL SWITCH ON/OFF  |  |
| AIR CONDITIONING:          | 1 PHASE A/C NON-DUCTED / 5 STAR (AVERAGE ZONE) TO LIVING AREAS ONLY.  |  |
| ALL UNITS APPLIANCES:      | ELECTRIC OOKTOP   |  |
|                            | ELECTRIC OVEN   |  |
| COMMON AREAS:              | LIFT - GEARLESS TRACTION WITH V V V F MOTOR. LED LIGHT LNKED TO LIFT CALL BUTTON.   |  |
|                            | GARBAGE ROOM - EXHAUST ONLY. LED LIGHT LINKED TO MOTION SENSOR  |  |
|                            | LOBBY AND CORRIDORS - LED LIGHTING, ZONED SWITCHING WITH MOTION SENSOR  |  |
| <b>THERMAL COMMITMENTS</b> |   |  |
| EXTERNAL WALLS             | CAVITY BRICK.   |  |
| INTERNAL WALLS             | STEEL OR TIMBER FRAME WITH PLASTERBOARD.  |  |
| INTERTENANCY WALLS         | CAVITY BRICK W' 10MM PLASTERBOARD OR RENDER EACH SIDE.  |  |
| GROUND FLOOR               | 100mm CONCRETE SLAB ON GROUND WITH R2.0 XPS INSULATION  |  |
| L1 FLOOR                   | SUSPENDED CONCRETE SLAB (R2.0 INSULATION ABOVE UNCONDITIONED SPACES)  |  |
| FLOOR COVERINGS            | BATHROOM: TILE / BEDROOMS: CARPET / LIVING/DINING/KITCHEN/HALLWAYS: TIMBER OR TILE  |  |
| ROOF                       | STEEL FRAME WITH R0.2 THERMAL BREAKS. R3.0 CEILING INSULATION. R1.3 ROOF BLANKET. MEDIUM SOLAR ABSORPTION.  |  |
| GLAZING                    | SLIDING DOORS - CLEAR GLAZING, MAXIMUM U-VALUE 3.35, SHGC 0.52  |  |
|                            | AWNING WINDOW - CLEAR GLAZING, MAXIMUM U-VALUE 3.51, SHGC 0.48  |  |
|                            | FIXED WINDOW - CLEAR GLAZING, MAXIMUM U-VALUE 3.56, SHGC 0.45   |  |

**Certificate No. #HF**  
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**Certificate No. #HR-ZCHVSD-03**  
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Assessor name  
Kretheika Natarajan Rajeswari

Accreditation No.  
DMN/22/2077

Property Address  
26-28 Stovenage Rd. & 53  
Welwyn Rd, Canley Heights,  
NSW, 2166  
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Project.

Canley Heights Seniors Housing

Address.

26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.

Homes NSW.

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North.



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Date.

12.03.25

Drawing Title.

DEVELOPMENT DATA

Project No.

23035

Drawing No.

DA-002

Rev.

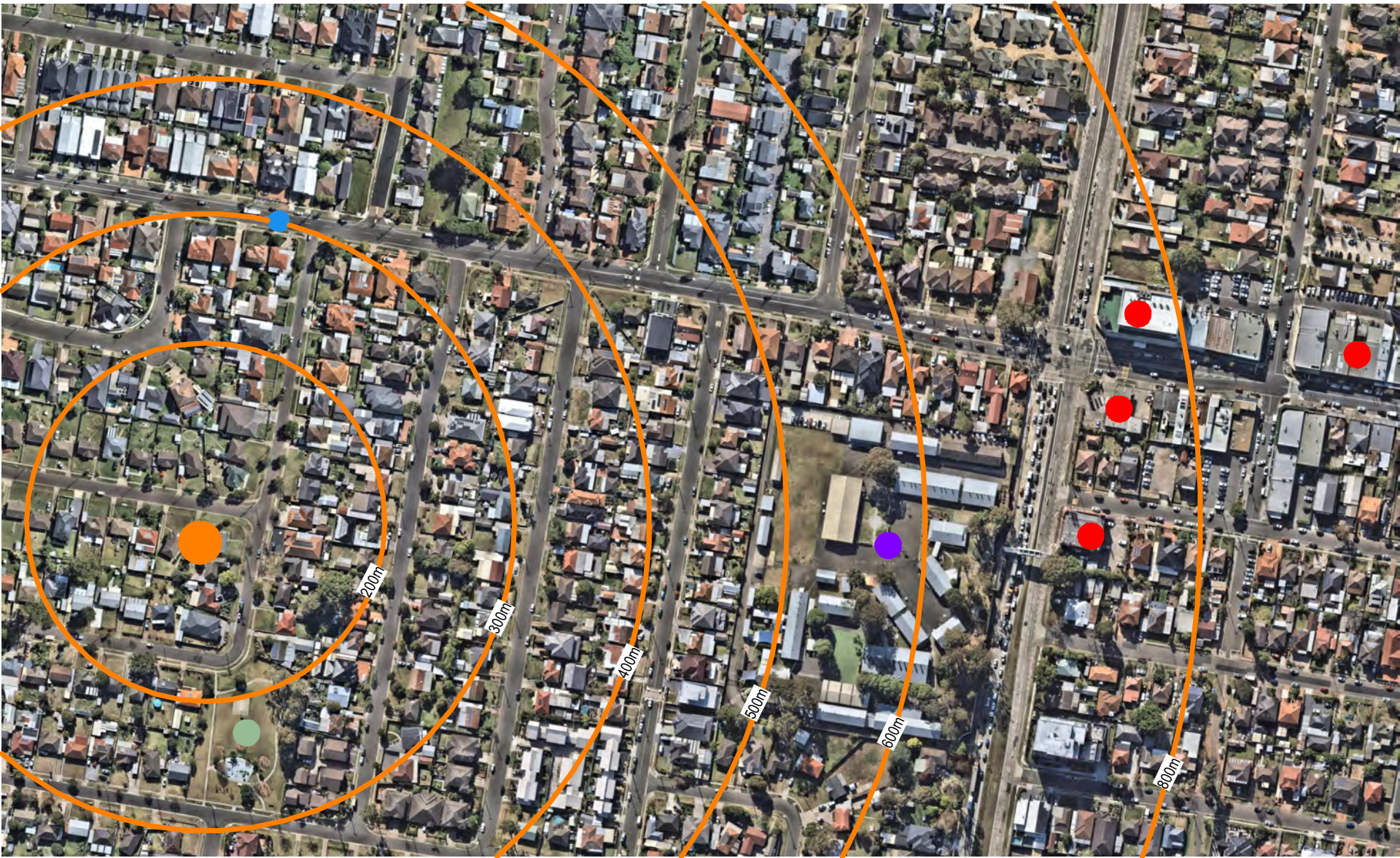
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LEGEND

- SITE
- LOCAL SHOPPING CENTRE  
SUPERMARKET  
POST OFFICE  
PHARMACY
- SCHOOL
- PARK
- BUS STOP

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CONTEXT ANALYSIS

**THE LOCALITY**  
Canley Heights is a small suburb nestled near sister suburbs Canley Vale and Cabramatta on traditional land of the Cabrogal people of the Darug Nation. Canley Heights is home to people from many ethnic backgrounds and traditions.

The site is within short walking distance to Canley Heights vibrant town centre lined with the colourful shopfronts of small businesses and diverse food options.

The site is also a short bus trip away from Canley Vale train station along Canley Vale Road and in close proximity to local parks such as Peterlee Park and walking tracks along Green Valley Creek and Orphan School Creek.

- THINGS TO DO**
- Canley Heights town centre
  - Canley Heights Corner Café (Vietnamese coff ee)
  - Yung Lee Tropical Fruits (green grocer)
  - Phuong Nam Noodle House (Vietnamese food)
  - Local medical centres + allied health services
  - Peterlee Park
  - Green Valley Creek shared path
  - Orphan School Creek walk



CANLEY HEIGHTS LOCAL SHOPPING CENTRE



CANLEY HEIGHTS LOCAL SHOPPING CENTRE



PETERLEE PARK



LOCAL STREETS - URBAN GRAIN  
AND SUBURBAN SCALE



GREEN VALLEY CREEK NATIVE BUSHLAND

Project.  
**Canley Heights Seniors Housing**

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North.

Scale 1 : 100

Scale (@A3)

**As indicated**

Date.

**21.02.25**

Drawing Title  
**CONTEXT ANALYSIS**

Project No.  
**23035**

Drawing No.  
**DA-101**

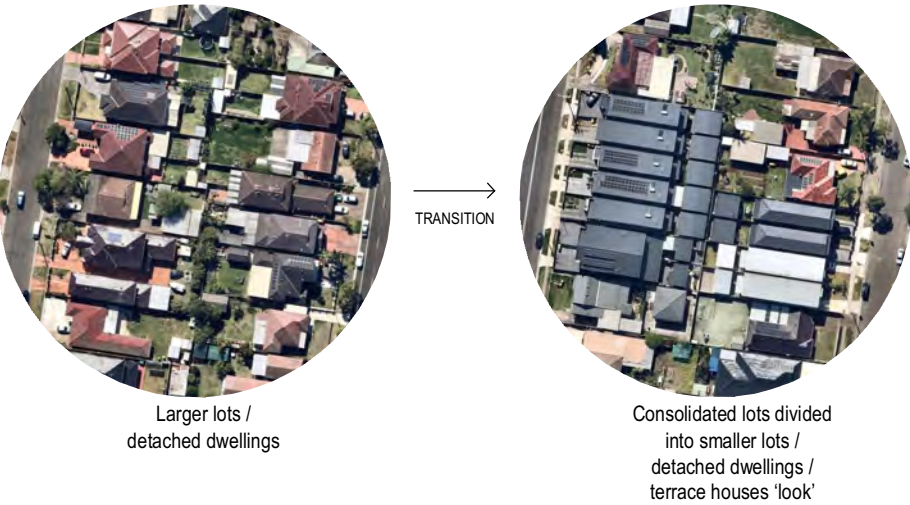
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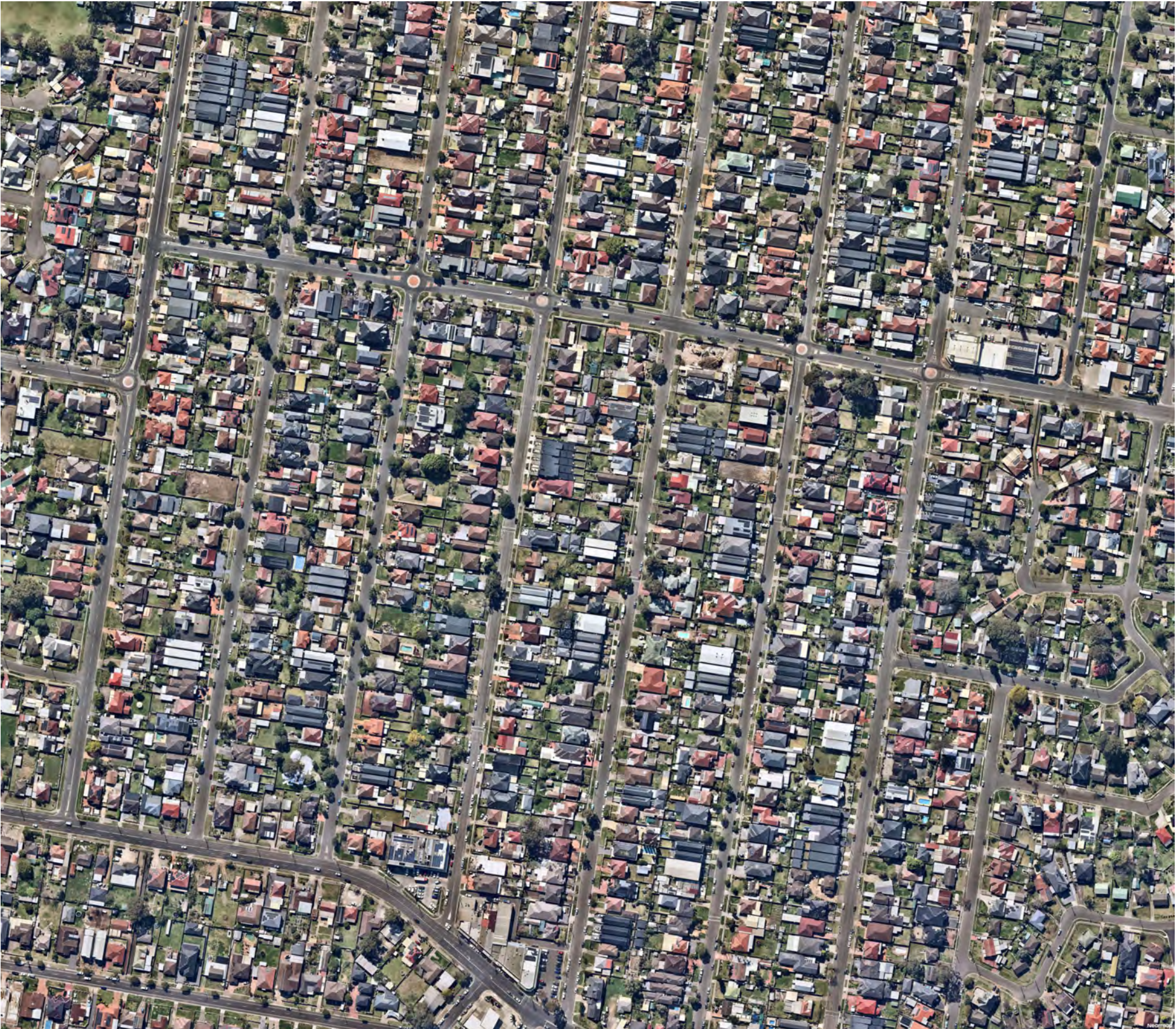
CONTEXT ANALYSIS

Canley Heights as a suburb is transitioning from single dwellings to low rise medium density housing. The urban grain of the neighbourhood is evolving to include multi dwelling housing (terraces 'look') where all dwellings face and generally follow the alignment of one or more public roads.



According to the Project Planning Brief provided by Homes NSW, there is a high concentration of LAHC dwellings in the vicinity of the site. As these sites are under single ownership and are grouped together it is likely that these sites may be consolidated to include similar medium density developments in the future.

The subject site is regarded as suitable for amalgamation to support higher densification due to its shape and size, frontage width and availability of dual street access. The proposed development will set a precedent for future, similar density developments in this area that is undergoing a transition to increased density.



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|                   |   |
|-------------------|---|
| Assessor name     | Kretheka Natarajan Rajeswari  |
| Accreditation No. | DMN/22/2077   |
| Property Address  | 26-28 Stevenage Rd. & 53<br>Welwyn Rd, Canley Heights,<br>NSW, 2166   |
|                   | <a href="http://www.hero-software.com.au/pdf/HR-ZCHVSD-03">http://www.hero-software.com.au/pdf/HR-ZCHVSD-03</a> |



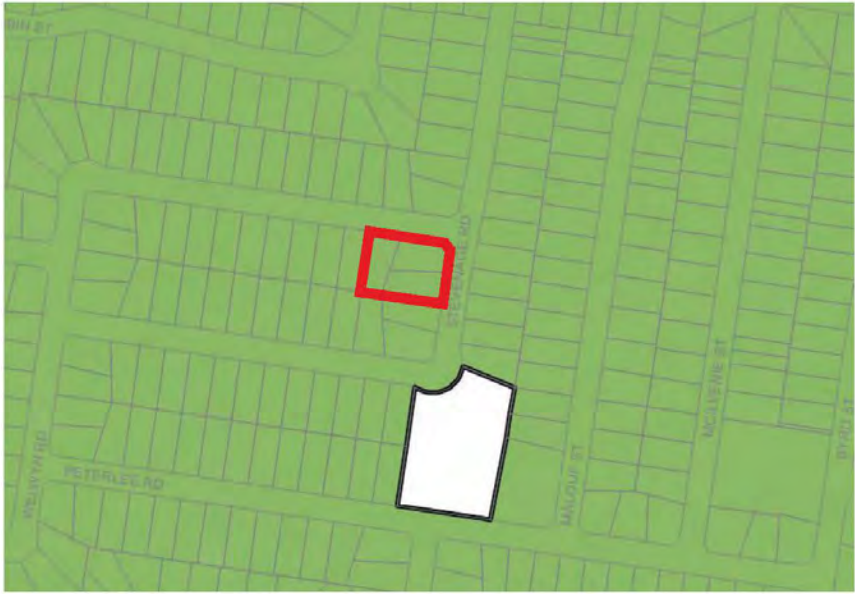


FAIRFIELD LEP 2013  
LAND ZONING



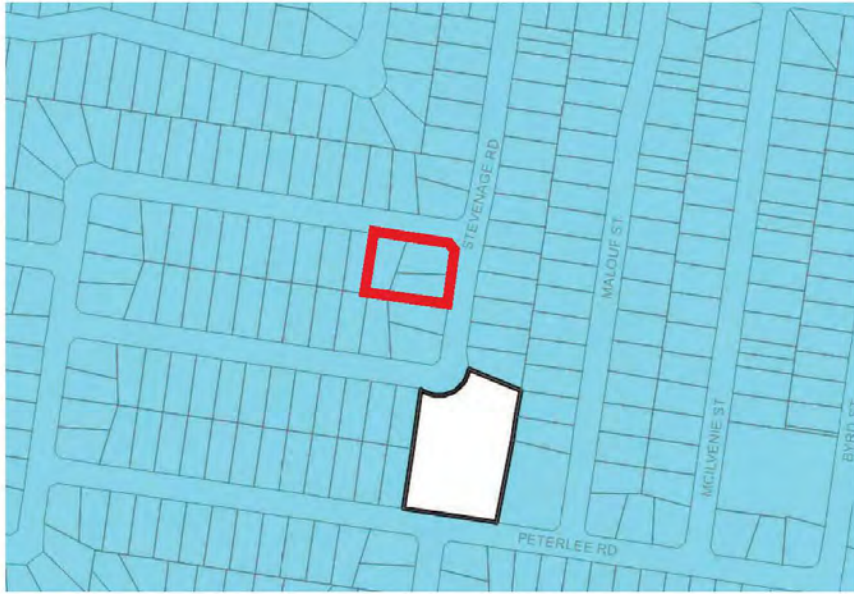
- R2 Low Density Residential
- R3 Medium Density Residential
- RE1 Public Recreation

FAIRFIELD LEP 2013  
HEIGHT OF BUILDINGS



J 9.0m

FAIRFIELD LEP 2013  
FLOOR SPACE RATIO



C 0.45



Project.  
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Scale (@A3)  
Date.  
21.02.25

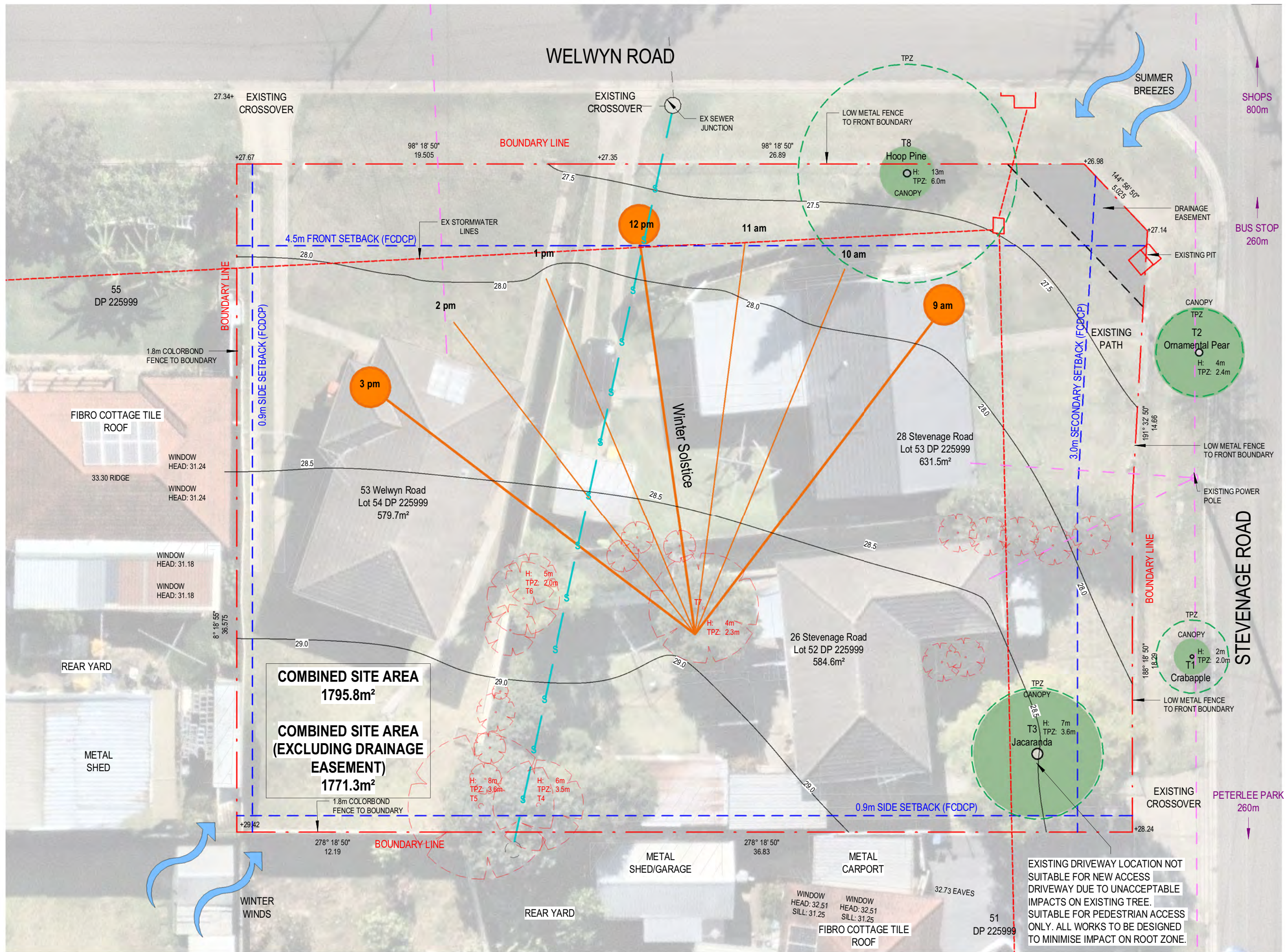
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**SITE ANALYSIS**  
Project No.  
23035

Drawing No.  
DA-103

Rev.  
C







## LEGEND

- SITE BOUNDARY
- LOT BOUNDARY
- SETBACKS
- S SEWER
- E ELECTRICITY
- EASEMENT
- STORMWATER
- EXISTING TREE WITH HIGH RETENTION VALUE TO BE RETAINED. REFER TO TREE IMPACT PLAN
- TREE PROTECTION ZONE
- TREES/SHRUBS TO BE REMOVED

## SITE ANALYSIS

### TOPOGRAPHY

Approximately 2.4m fall across the site.

### SEWER

Existing sewer line services all adjacent lots (private ownership) and traverses the site. Proposed development to incorporate sewer protection works to suit Sydney Water requirements.

### STORMWATER

Existing stormwater lines are not identified to be associated with any easements. Proposed development to incorporate realignment of pipes within the site boundaries.

### TREES

Three trees are identified as having high retention value. Proposed development to be designed to respect the tree protection zones. The existing jacaranda tree 'T3' cannot support a new driveway over it's TPZ

### ADJACENT DWELLINGS

Proposed development to consider privacy impacts due to window locations.



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0 1 2 4 6 8m  
Scale (@A3)  
1 : 200  
Date.  
21.02.25

Drawing Title.  
SITE ANALYSIS

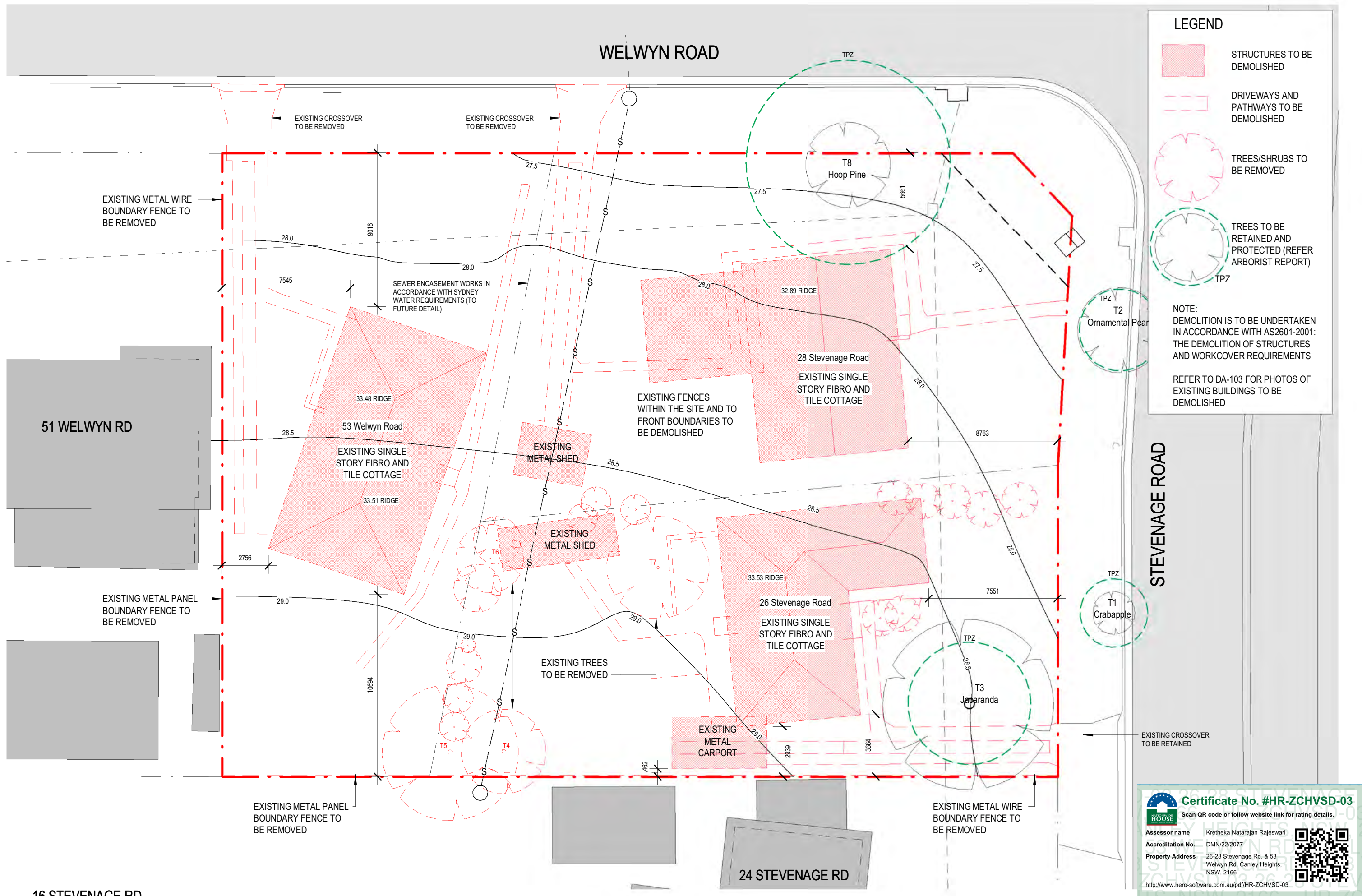
Project No.  
23035

Drawing No.  
DA-104

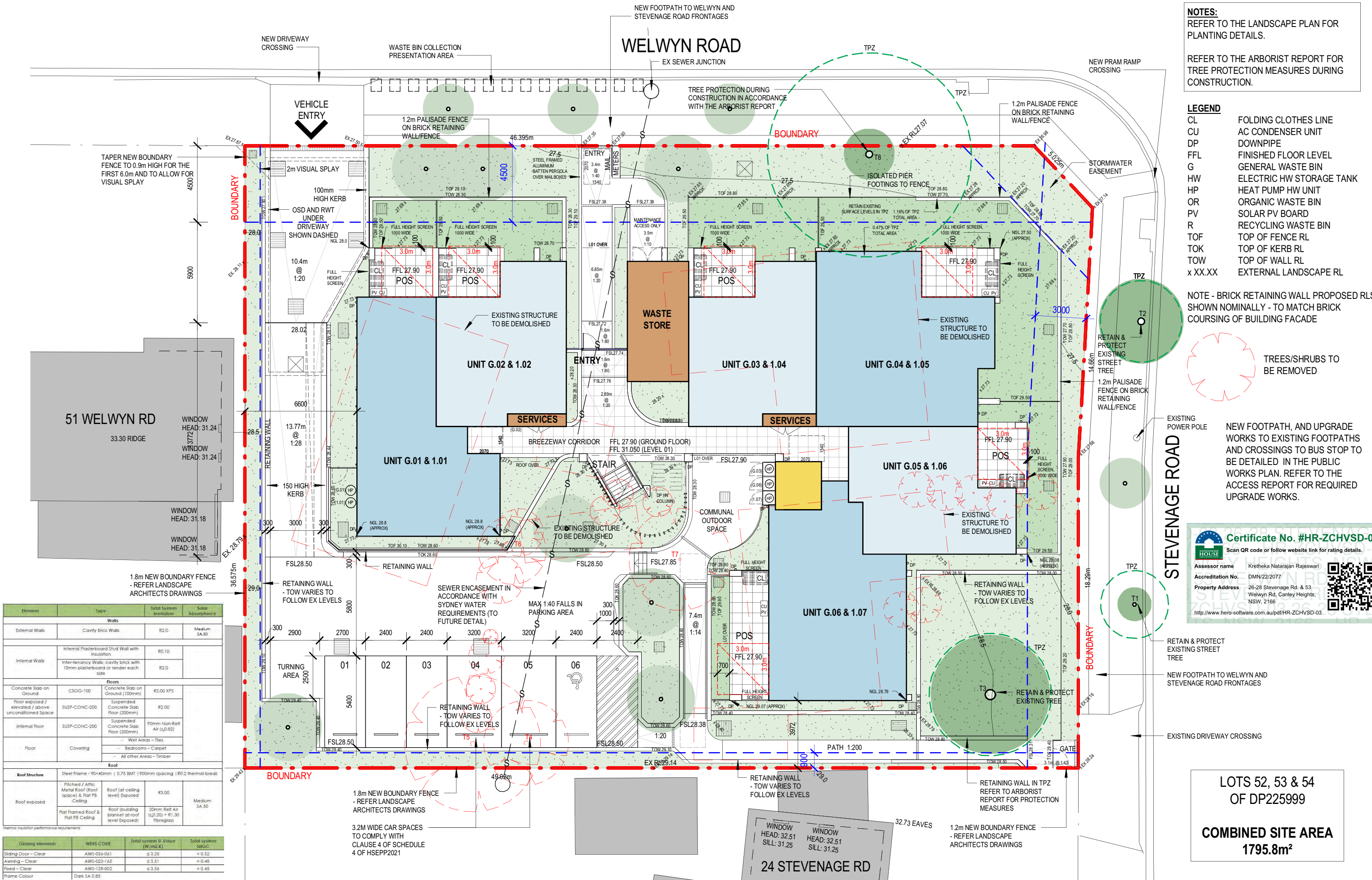
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Project.

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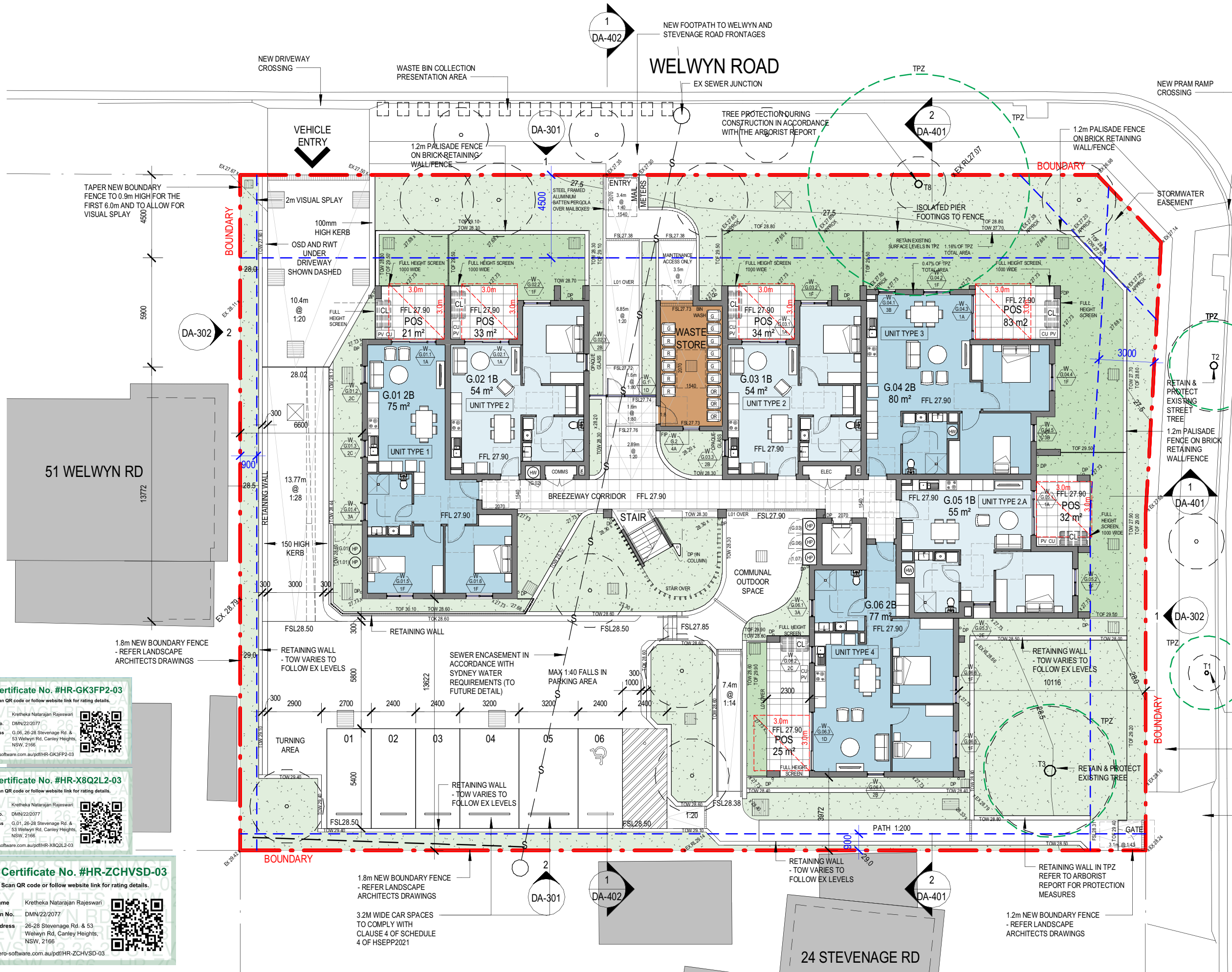
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1 : 200

Date.  
26.03.25

Drawing Title.  
PROPOSED SITE PLAN  
Project No.  
23035  
Drawing No.  
DA-202

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**NOTES:**  
ALL SLIDING DOORS TO BALCONIES AND POS TO HAVE 850 MIN. CLEAR OPENING WIDTH AND RECESSED DOOR SILLS TO PROVIDE A FLUSH THRESHOLD.  
ALL PRIMARY SWING DOORS TO HAVE 850 MIN. CLEAR OPENING.  
  
REFER TO DA-703 FOR GROSS FLOOR, LANDSCAPE AND DEEP SOIL AREAS  
  
REFER TO ERBAS DOCUMENTATION FOR FIRE SAFETY MEASURES.

- LEGEND**
- |         |                          |
|---------|--------------------------|
| B       | BROOM CUPBOARD           |
| CL      | FOLDING CLOTHES LINE     |
| CU      | AC CONDENSER UNIT        |
| DB/BNB  | UNIT DB/BNB CUPBOARD     |
| DP      | DOWNPIPE                 |
| DW      | DISHWASHER SPACE         |
| Fr      | FRIDGE SPACE             |
| FFL     | FINISHED FLOOR LEVEL     |
| G       | GENERAL WASTE BIN        |
| HW      | ELECTRIC HW STORAGE TANK |
| HP      | HEAT PUMP HW UNIT        |
| L       | LINEN CUPBOARD           |
| MO      | MICROWAVE/OVEN TOWER     |
| OR      | ORGANIC WASTE BIN        |
| P       | PANTRY CUPBOARD          |
| PV      | SOLAR PV BOARD           |
| R       | RECYCLING WASTE BIN      |
| TOF     | TOP OF FENCE RL          |
| TOK     | TOP OF KERB RL           |
| TOW     | TOP OF WALL RL           |
| x XX.XX | EXTERNAL LANDSCAPE RL    |
- NOTE - BRICK RETAINING WALL PROPOSED RLS SHOWN NOMINALLY - TO MATCH BRICK COURSING OF BUILDING FACADE**
- TYPICAL UNIT FINISHES:**  
TILE OR VINYL PLANK TO LIVING, DINING, KITCHEN & HALLWAY  
TILE TO BATHROOMS & LAUNDRIES  
CARPET TO BEDROOMS INCLUDING ROBES  
TILE TO GROUND FLOOR TERRACES AND BALCONIES  
TILE TO COMMON BREEZEWAY CORRIDORS AND LOBBY  
CONCRETE TO EXTERNAL PATHS AND STAIRS IN COMMUNAL LANDSCAPED AREAS

STEVENAGE ROAD

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Assessor name: Kretheka Natarajan Rajeswari  
Accreditation No.: DMN/22/2077  
Property Address: G.06, 26-28 Stevenage Rd. & 53 Welwyn Rd, Canley Heights, NSW, 2166  
<http://www.hero-software.com.au/pdf/HR-GK3FP2-03>

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Assessor name: Kretheka Natarajan Rajeswari  
Accreditation No.: DMN/22/2077  
Property Address: G.01, 26-28 Stevenage Rd. & 53 Welwyn Rd, Canley Heights, NSW, 2166  
<http://www.hero-software.com.au/pdf/HR-X8Q2L2-03>

**Certificate No. #HR-ZCHVSD-03**  
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Assessor name: Kretheka Natarajan Rajeswari  
Accreditation No.: DMN/22/2077  
Property Address: 26-28 Stevenage Rd. & 53 Welwyn Rd, Canley Heights, NSW, 2166  
<http://www.hero-software.com.au/pdf/HR-ZCHVSD-03>

16 STEVENAGE RD

Project.  
**Canley Heights Seniors Housing**

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY SUBMISSION - BH273



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North. Scale 1 : 100  
Scale (@A3) 1 : 200  
Date. 26.03.25  
Project No. 23035  
Drawing No. DA-203  
Rev. N

Drawing Title.  
**PROPOSED GROUND FLOOR PLAN**





WELWYN ROAD

**NOTES:**

ALL SLIDING DOORS TO BALCONIES AND POS TO HAVE 850 MIN. CLEAR OPENING WIDTH AND RECESSED DOOR SILLS TO PROVIDE A FLUSH THRESHOLD.  
ALL PRIMARY SWING DOORS TO HAVE 850 MIN. CLEAR OPENING.

REFER TO DA-703 FOR GROSS FLOOR, LANDSCAPE AND DEEP SOIL AREAS

REFER TO ERBAS DOCUMENTATION FOR FIRE SAFETY MEASURES.

**LEGEND**

|         |                          |
|---------|--------------------------|
| B       | BROOM CUPBOARD           |
| CL      | FOLDING CLOTHES LINE     |
| CU      | AC CONDENSER UNIT        |
| DB/BNB  | UNIT DB/BNB CUPBOARD     |
| DP      | DOWNPIPE                 |
| DW      | DISHWASHER SPACE         |
| Fr      | FRIDGE SPACE             |
| FFL     | FINISHED FLOOR LEVEL     |
| G       | GENERAL WASTE BIN        |
| HW      | ELECTRIC HW STORAGE TANK |
| HP      | HEAT PUMP HW UNIT        |
| L       | LINEN CUPBOARD           |
| MO      | MICROWAVE/OVEN TOWER     |
| OR      | ORGANIC WASTE BIN        |
| P       | PANTRY CUPBOARD          |
| PV      | SOLAR PV BOARD           |
| R       | RECYCLING WASTE BIN      |
| TOF     | TOP OF FENCE RL          |
| TOK     | TOP OF KERB RL           |
| TOW     | TOP OF WALL RL           |
| x XX.XX | EXTERNAL LANDSCAPE RL    |

NOTE - BRICK RETAINING WALL PROPOSED RLS SHOWN NOMINALLY - TO MATCH BRICK COURSING OF BUILDING FACADE

**TYPICAL UNIT FINISHES:**

TILE OR VINYL PLANK TO LIVING, DINING, KITCHEN & HALLWAY  
TILE TO BATHROOMS & LAUNDRIES  
CARPET TO BEDROOMS INCLUDING ROBES  
TILE TO GROUND FLOOR TERRACES AND BALCONIES  
TILE TO COMMON BREEZEWAY CORRIDORS AND LOBBY  
CONCRETE TO EXTERNAL PATHS AND STAIRS IN COMMUNAL LANDSCAPED AREAS

**Certificate No. #HR-EYV6UI-03**  
Scan QR code or follow website link for rating details.  
Assessor name Kretheka Natarajan Rajeswari  
Accreditation No. DMN/22/2077  
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**Certificate No. #HR-XQ4FGL-03**  
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Assessor name Kretheka Natarajan Rajeswari  
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**Certificate No. #HR-ZCHVSD-03**  
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Assessor name Kretheka Natarajan Rajeswari  
Accreditation No. DMN/22/2077  
Property Address 26-28 Stevenage Rd. & 53 Welwyn Rd, Canley Heights, NSW, 2166  
<http://www.hero-software.com.au/pdf/HR-ZCHVSD-03>

STEVENAGE ROAD

Project.

**Canley Heights Seniors Housing**

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY SUBMISSION - BH273



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Scale (@A3)  
1 : 200

Date.  
26.03.25

Drawing Title.  
PROPOSED LEVEL 01 PLAN

Project No.  
23035

Drawing No.  
DA-204

Rev.  
M






**LEGEND**

|     |                      |
|-----|----------------------|
| TOH | TOP OPF CONCRETE HOB |
| RWO | RAINWATER OUTLET     |



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Assessor name  
Kretheeka Natarajan Rajeswari

Accreditation No.  
DMN/22/2077

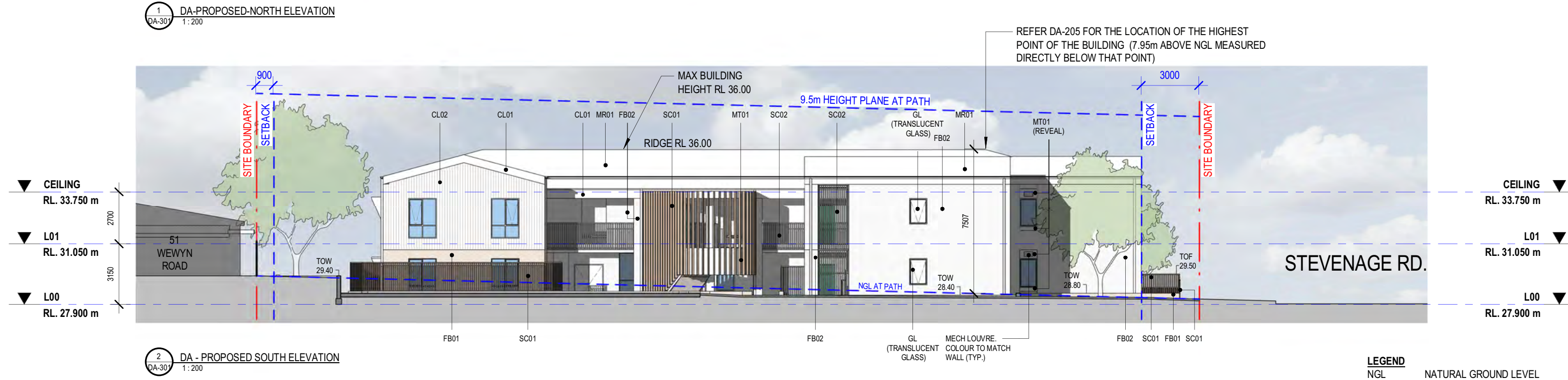
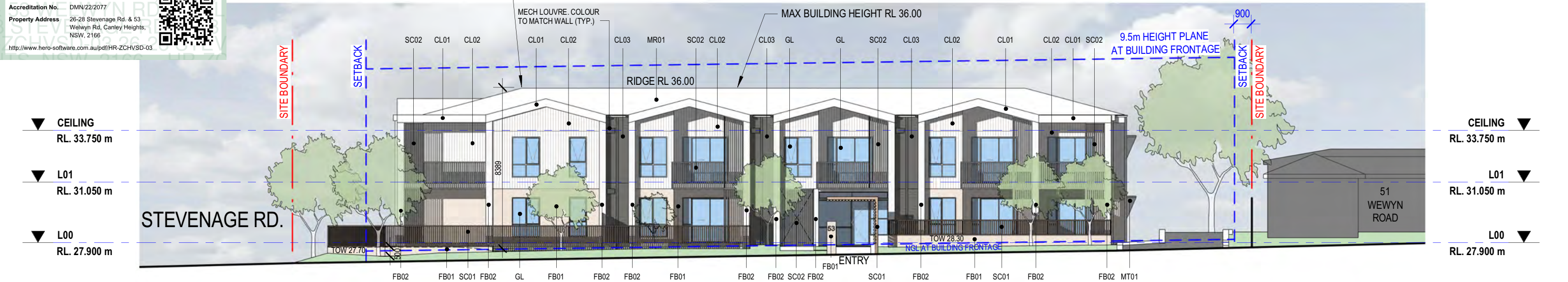
Property Address  
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Welwyn Rd, Canley Heights,  
NSW, 2166  
<http://www.hero-software.com.au/pdf/HR-ZCHVSD-03>



REFER DA-205 FOR THE LOCATION OF THE HIGHEST POINT OF THE BUILDING (7.95m ABOVE NGL MEASURED DIRECTLY BELOW THAT POINT)

NOTE: TREE SPECIES, LOCATIONS AND LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE PLANS FOR DETAILS

NOTE: DOWNPIPES TO BE PAINTED WHITE GENERALLY, OR TO MATCH WALL COLOUR WHERE LOCATED ON 'CL3' WALLS



**LEGEND**  
NGL NATURAL GROUND LEVEL

| FB01  | FACE BRICK - TYPE 1 | FB02   | FACE BRICK - TYPE 2 | CL01   | FINISH - TYPE 1 | CL02  | FINISH - TYPE 2 | CL03   | FINISH - TYPE 3 | SC01   | FENCING, SCREENING & ENTRY PERGOLA | SC02   | PRIVACY SCREENS & BALUSTRADES | MT01    | ALUMINIUM SUNHOODS, REVEALS STAIR BALUSTRADE | MR01   | ROOFING, GUTTERS | GL  | GLAZING |
|---|---------------------|--|---------------------|--|-----------------|---|-----------------|--|-----------------|--|------------------------------------|--|-------------------------------|---------|--|--|------------------|---|---------|
| BOWRAL BRICKS<br>230 X 110 X 76<br>"SIMMENTAL SILVER"<br>OR SIMILAR |                     | AUSTRAL HAMPTONS<br>230 X 110 X 76<br>"WHITEHAVEN"<br>OR SIMILAR |                     | SELECTED SMOOTH TEXTURE<br>CLADDING.<br>COLOUR TO MATCH 'FB02' |                 | SELECTED VERTICAL PROFILE<br>CLADDING.<br>"WHITE" |                 | SELECT HORIZONTAL PROFILE<br>CLADDING.<br>"MID GREY" |                 | FENCING: NOM. 16 X 65<br>VERTICAL BATTEN WITH 10mm<br>GAPS<br>PERGOLA: NOM. 50 X 50<br>HORIZONTAL BATTENS ON<br>FRAMING.<br>STAIRS: NOM. 50 X 150<br>VERTICAL BATTENS W' NOM<br>200mm GAPS.<br>POWDERCOATED ALUMINIUM.<br>"TIMBER GRAIN" |                                    | NOM. 25 X 50 VERTICAL<br>BATTEN WITH 10mm GAPS<br>POWDERCOATED ALUMINIUM.<br>"WHITE"<br>OR SIMILAR |                               | "WHITE" |  | TRIMDEK ROOF SHEETING<br>WITH HALF ROUND GUTTERS<br>"COLORBOND SURFMIST" |                  | POWDERCOATED ALUMINIUM<br><br>FB01 WALLS:<br>"TIMBER COLOUR TONE"<br><br>WHITE WALLS: "WHITE" |         |






**Certificate No. #HR-ZCHVSD-03**  
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Assessor name  
Kretheka Natarajan Rajeswari

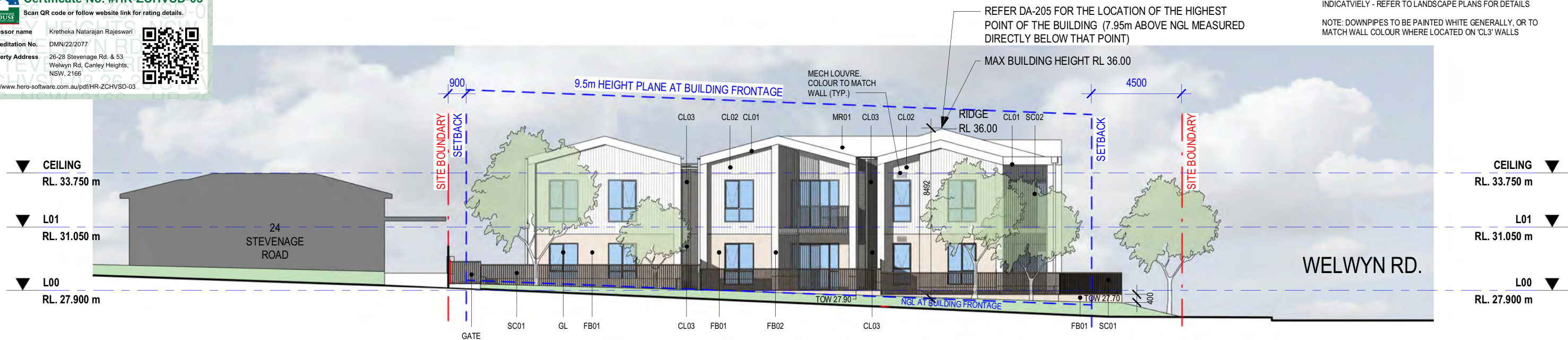
Accreditation No.  
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NSW, 2166  
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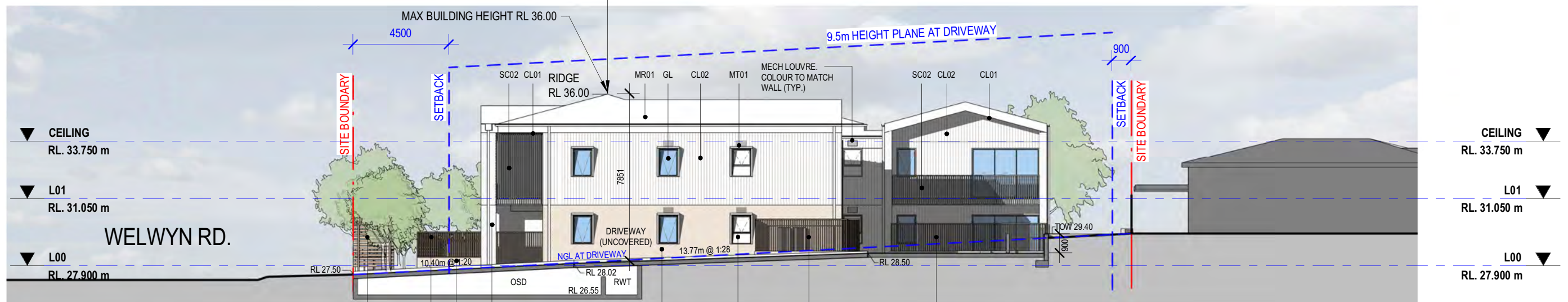
NOTE: TREE SPECIES, LOCATIONS AND LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE PLANS FOR DETAILS

NOTE: DOWNPIPES TO BE PAINTED WHITE GENERALLY, OR TO MATCH WALL COLOUR WHERE LOCATED ON 'CL3' WALLS



1 DA-PROPOSED-EAST ELEVATION  
1 : 200

REFER DA-205 FOR THE LOCATION OF THE HIGHEST POINT OF THE BUILDING ( 7.95m ABOVE NGL MEASURED DIRECTLY BELOW THAT POINT)

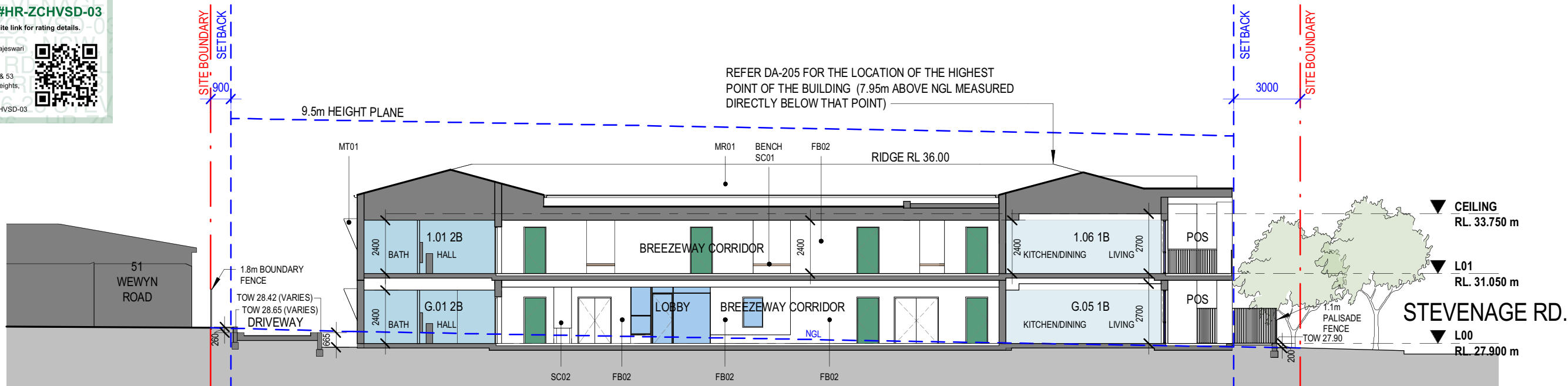


2 DA - PROPOSED - WEST ELEVATION  
1 : 200

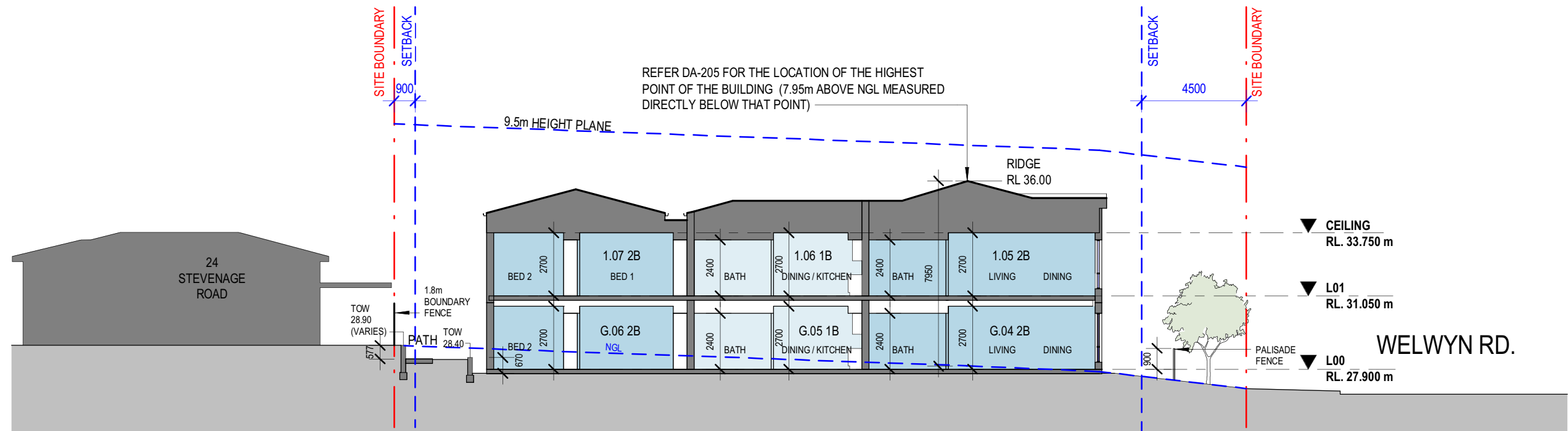
**LEGEND**  
NGL NATURAL GROUND LEVEL

| FB01  | FACE BRICK - TYPE 1 | FB02   | FACE BRICK - TYPE 2 | CL01   | FINISH - TYPE 1 | CL02  | FINISH - TYPE 2 | CL03   | FINISH - TYPE 3 | SC01   | FENCING, SCREENING & ENTRY PERGOLA | SC02   | PRIVACY SCREENS & BALUSTRADES | MT01    | ALUMINIUM SUNHOODS, REVEALS STAIR BALUSTRADE | MR01   | ROOFING, GUTTERS | GL  | GLAZING |
|---|---------------------|--|---------------------|--|-----------------|---|-----------------|--|-----------------|--|------------------------------------|--|-------------------------------|---------|--|--|------------------|---|---------|
| BOWRAL BRICKS<br>230 X 110 X 76<br>"SIMMENTAL SILVER"<br>OR SIMILAR |                     | AUSTRAL HAMPTONS<br>230 X 110 X 76<br>"WHITEHAVEN"<br>OR SIMILAR |                     | SELECTED SMOOTH TEXTURE<br>CLADDING.<br>COLOUR TO MATCH 'FB02' |                 | SELECTED VERTICAL PROFILE<br>CLADDING.<br>"WHITE" |                 | SELECT HORIZONTAL PROFILE<br>CLADDING.<br>"MID GREY" |                 | FENCING: NOM. 16 X 65<br>VERTICAL BATTEN WITH 10mm<br>GAPS<br>PERGOLA: NOM. 50 X 50<br>HORIZONTAL BATTENS ON<br>FRAMING.<br>STAIRS: NOM. 50 X 150<br>VERTICAL BATTENS W' NOM<br>200mm GAPS.<br>POWDERCOATED ALUMINIUM.<br>"TIMBER GRAIN" |                                    | NOM. 25 X 50 VERTICAL<br>BATTEN WITH 10mm GAPS<br>POWDERCOATED ALUMINIUM.<br>"WHITE"<br>OR SIMILAR |                               | "WHITE" |  | TRIMDEK ROOF SHEETING<br>WITH HALF ROUND GUTTERS<br>"COLORBOND SURFMIST" |                  | POWDERCOATED ALUMINIUM<br><br>FB01 WALLS:<br>"TIMBER COLOUR TONE"<br><br>WHITE WALLS: "WHITE" |         |



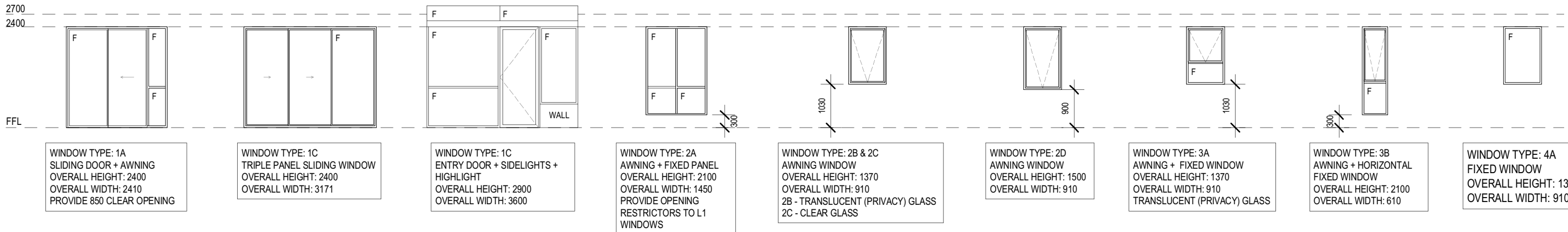


1 SECTION A.A  
DA-401 1:200



2 SECTION B.B  
DA-401 1:200

**LEGEND**  
NGL NATURAL GROUND LEVEL







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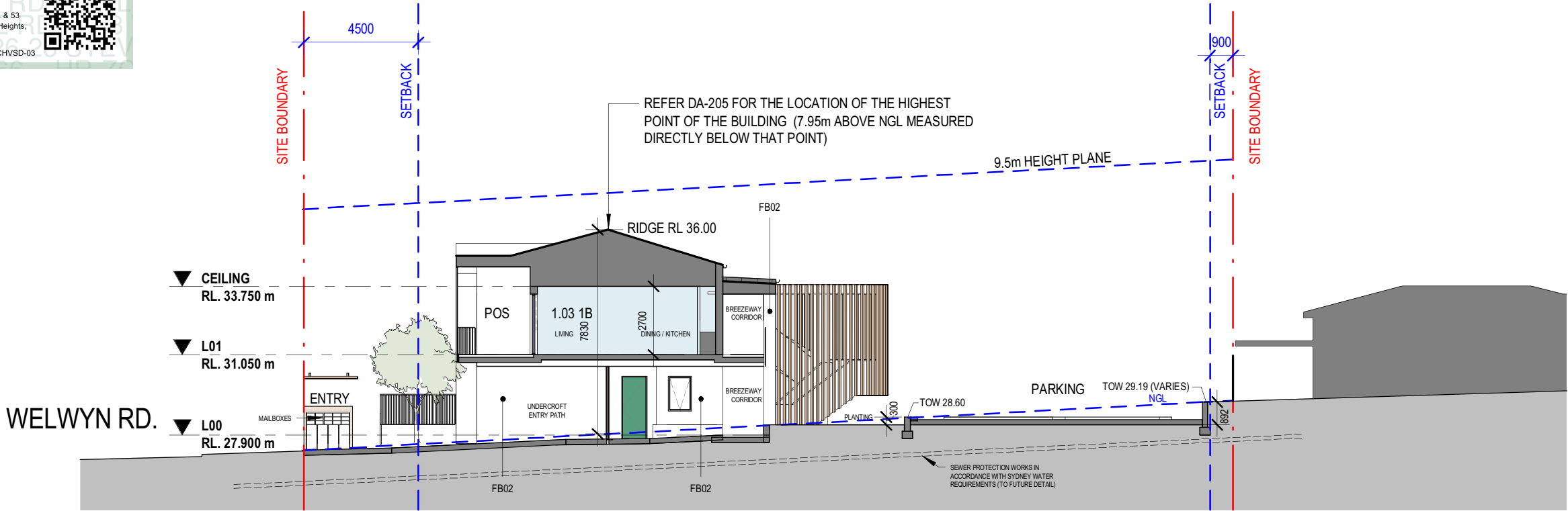
Assessor name  
Kretheka Natarajan Rajeswari

Accreditation No.  
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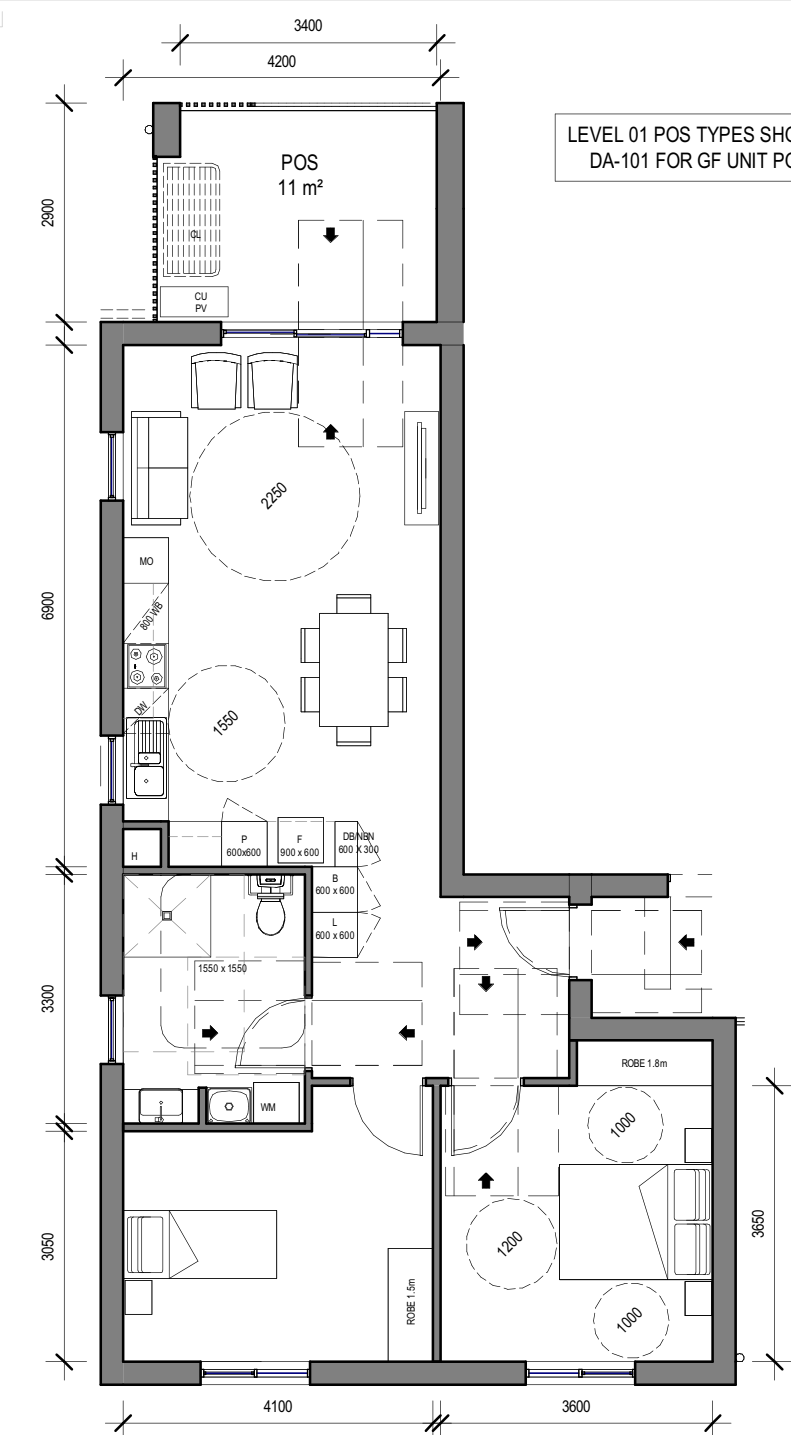




1 SECTION C.C  
DA-402 1 : 200

**LEGEND**  
NGL NATURAL GROUND LEVEL





1 UNIT TYPE 1 PLAN - 75.9m<sup>2</sup>  
1:100  
INTERNAL AREA - 74.5m<sup>2</sup>

#### LEGEND

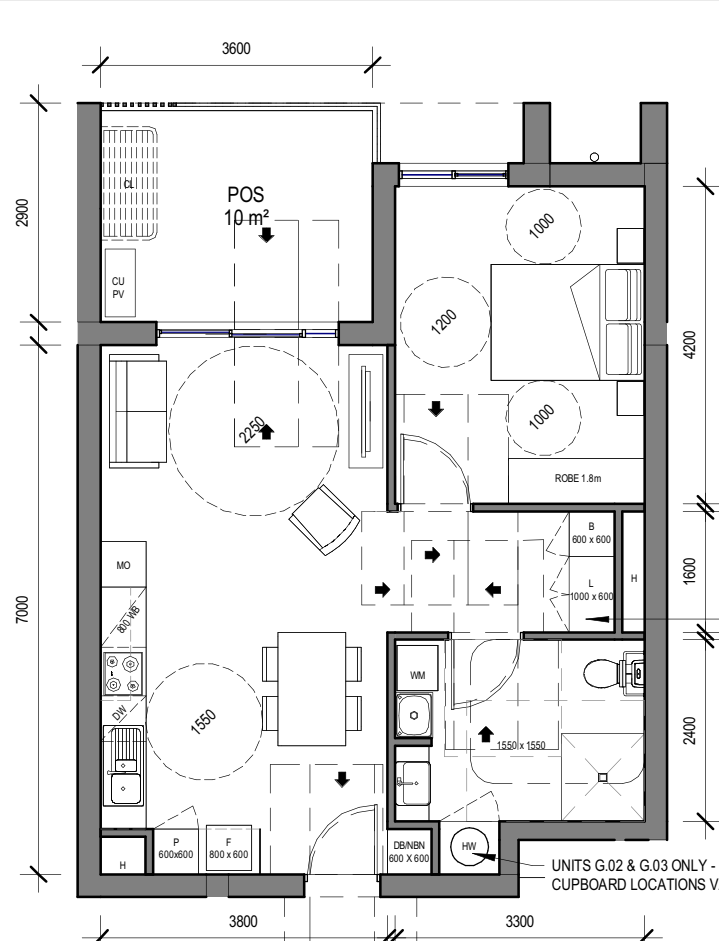
|        |                              |
|--------|------------------------------|
| B      | BROOM CUPBOARD               |
| CL     | FOLDING CLOTHES LINE         |
| CU     | AC CONDENSER UNIT            |
| DB/NBN | UNIT DB/NBN CUPBOARD         |
| DW     | DISHWASHER SPACE             |
| F      | FRIDGE SPACE                 |
| FFL    | FINISHED FLOOR LEVEL         |
| HW     | ELECTRIC HW STORAGE TANK     |
| HP     | HEAT PUMP HW UNIT            |
| L      | LINEN CUPBOARD               |
| MO     | WALL OVEN W/ MICROWAVE SPACE |
| P      | PANTRY CUPBOARD              |
| PV     | SOLAR PV BOARD               |

#### NOTES

ALL EXTERNAL PATIO DOORS TO HAVE RECESSED TRACKS AND SILLS.  
LINEN CUPBOARDS TO PROVIDE 600 INTERNAL WIDTH CLEAR OF OBSTRUCTIONS.



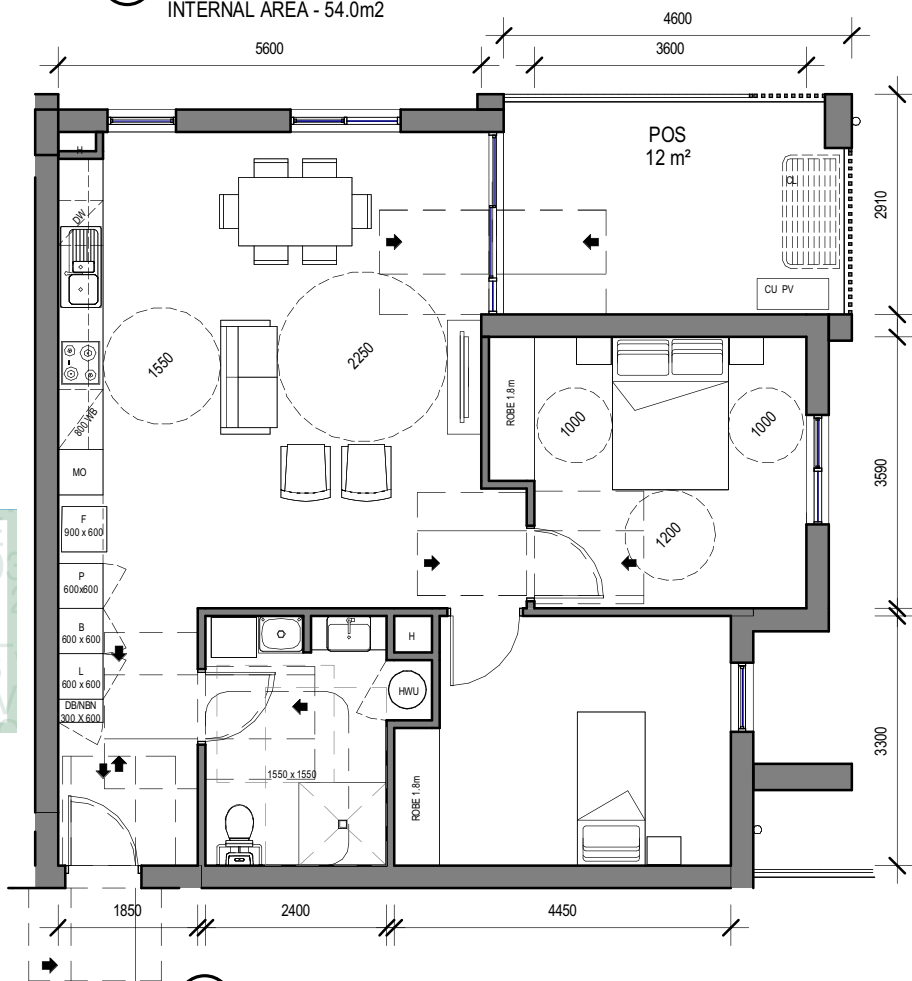
LEVEL 01 POS TYPES SHOWN. REFER DA-101 FOR GF UNIT POS AREAS



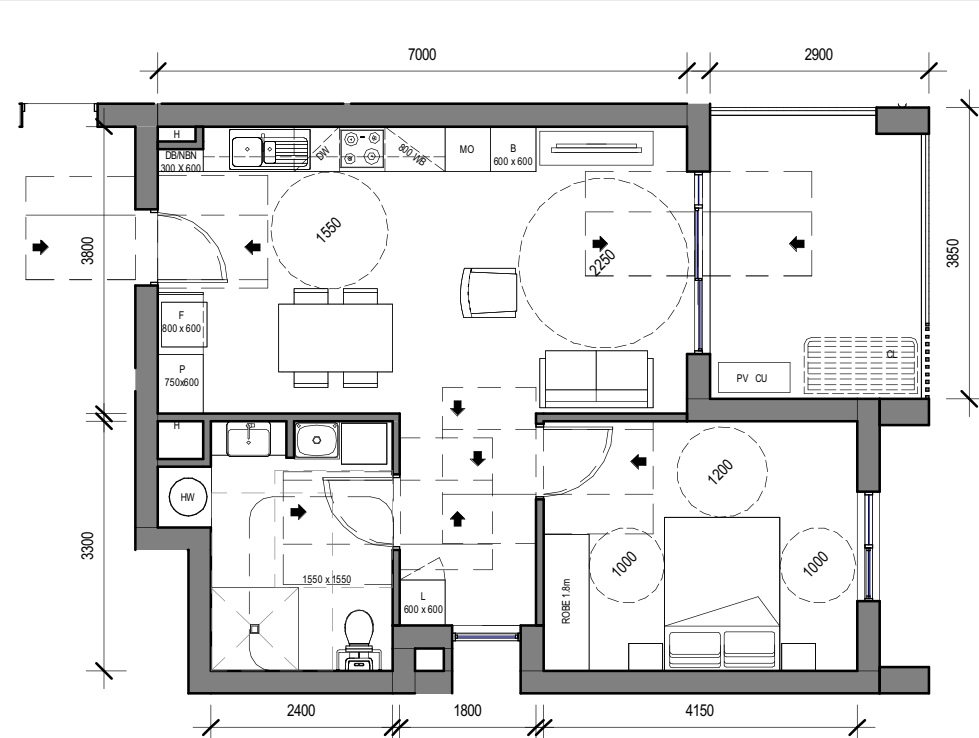
2 UNIT TYPE 2 PLAN  
1:100  
INTERNAL AREA - 54.0m<sup>2</sup>

UNITS G.02 & G.03 ONLY - DB/NBN CUPBOARD ADJACENT TO 600W LINEN CUPBOARD

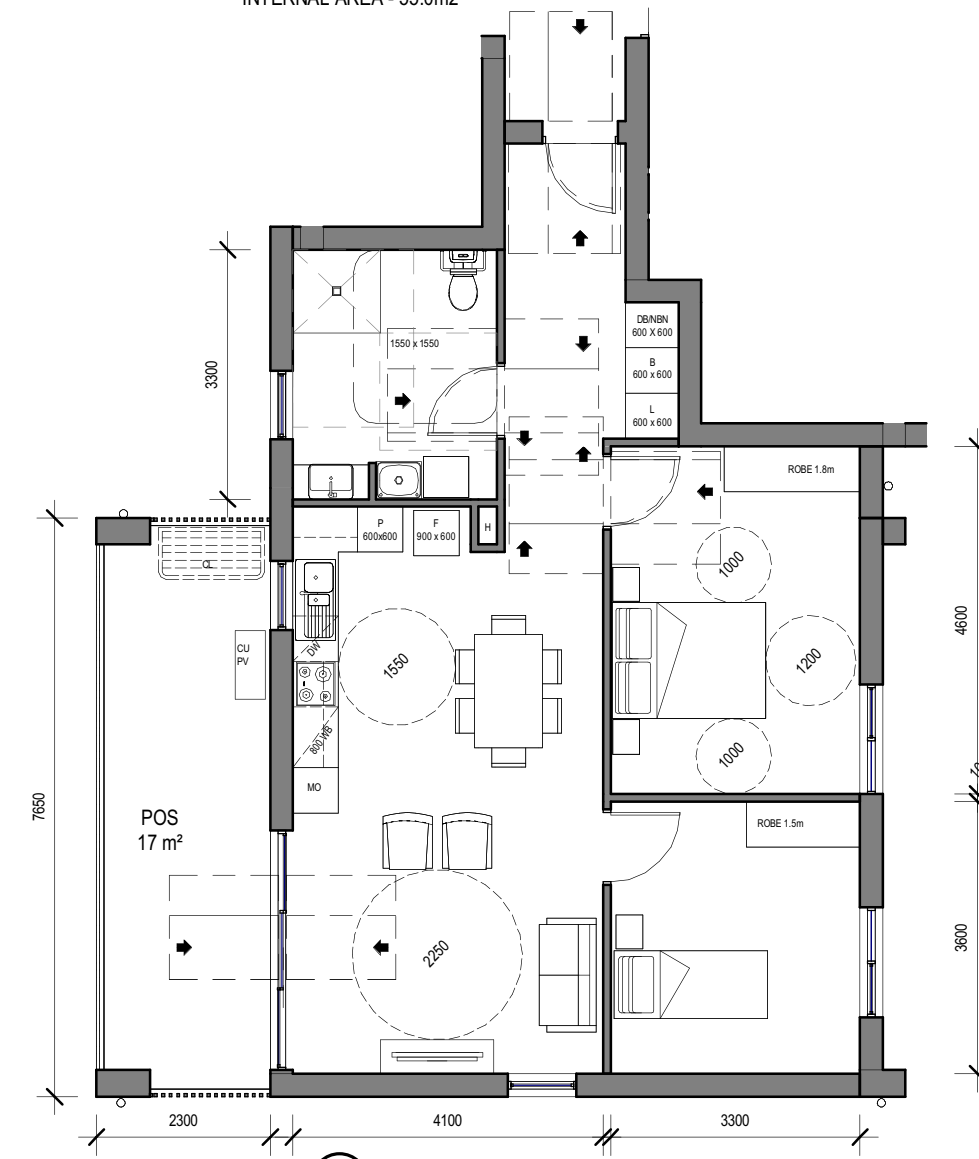
UNITS G.02 & G.03 ONLY - HWU AND DB/NBN CUPBOARD LOCATIONS VARY - REFER DA-203



3 UNIT TYPE 3 PLAN  
1:100  
INTERNAL AREA - 80.0m<sup>2</sup>



4 UNIT TYPE 2.A PLAN  
1:100  
INTERNAL AREA - 55.0m<sup>2</sup>



5 UNIT TYPE 4 PLAN  
1:100  
INTERNAL AREA - 76.9m<sup>2</sup>

Project.

**Canley Heights Seniors Housing**

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
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North. Scale 1 : 100

Scale (@A3)  
1 : 100

Date.  
26.03.25

Drawing Title  
UNIT TYPE PLANS

Project No.  
23035

Drawing No.  
DA-501

Rev.  
G







INDICATIVE VIEW FROM NORTH - WELWYN ROAD (INDICATIVE LANDSCAPING SHOWN)



INDICATIVE VIEW FROM NORTH - WELWYN ROAD (INDICATIVE LANDCAPING SHOWN WITH TRANSPARENT TREES)

**Certificate No. #HR-ZCHVSD-03**  
Scan QR code or follow website link for rating details.

|                   |   |
|-------------------|---|
| Assessor name     | Kretheka Natarajan Rajeswari  |
| Accreditation No. | DMN/22/2077   |
| Property Address  | 26-28 Stevenage Rd. & 53<br>Welwyn Rd, Canley Heights,<br>NSW, 2166 |

  
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North.



Scale (@A3)

Date.  
21.02.25

Drawing Title  
PERSPECTIVE VIEWS - SHEET 1

Project No.  
23035

Drawing No.  
DA-601

Rev.  
C







INDICATIVE VIEW FROM NORTH EAST - WELWYN ROAD & STEVENAGE ROAD (INDICATIVE LANDSCAPING SHOWN)



INDICATIVE VIEW FROM NORTH EAST - WELWYN ROAD & STEVENAGE ROAD (INDICATIVE LANDCAPING SHOWN WITH TRANSPARENT TREES)

**Certificate No. #HR-ZCHVSD-03**  
Scan QR code or follow website link for rating details.

|                   |   |
|-------------------|---|
| Assessor name     | Kresthika Natarajan Rajeswari                                       |
| Accreditation No. | DMN/22/2077   |
| Property Address  | 26-28 Stevenage Rd. & 53<br>Welwyn Rd, Canley Heights,<br>NSW, 2166 |

  
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Project.

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Status.  
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North.



Scale (@A3)

Date.  
21.02.25

Drawing Title.  
PERSPECTIVE VIEWS - SHEET 2

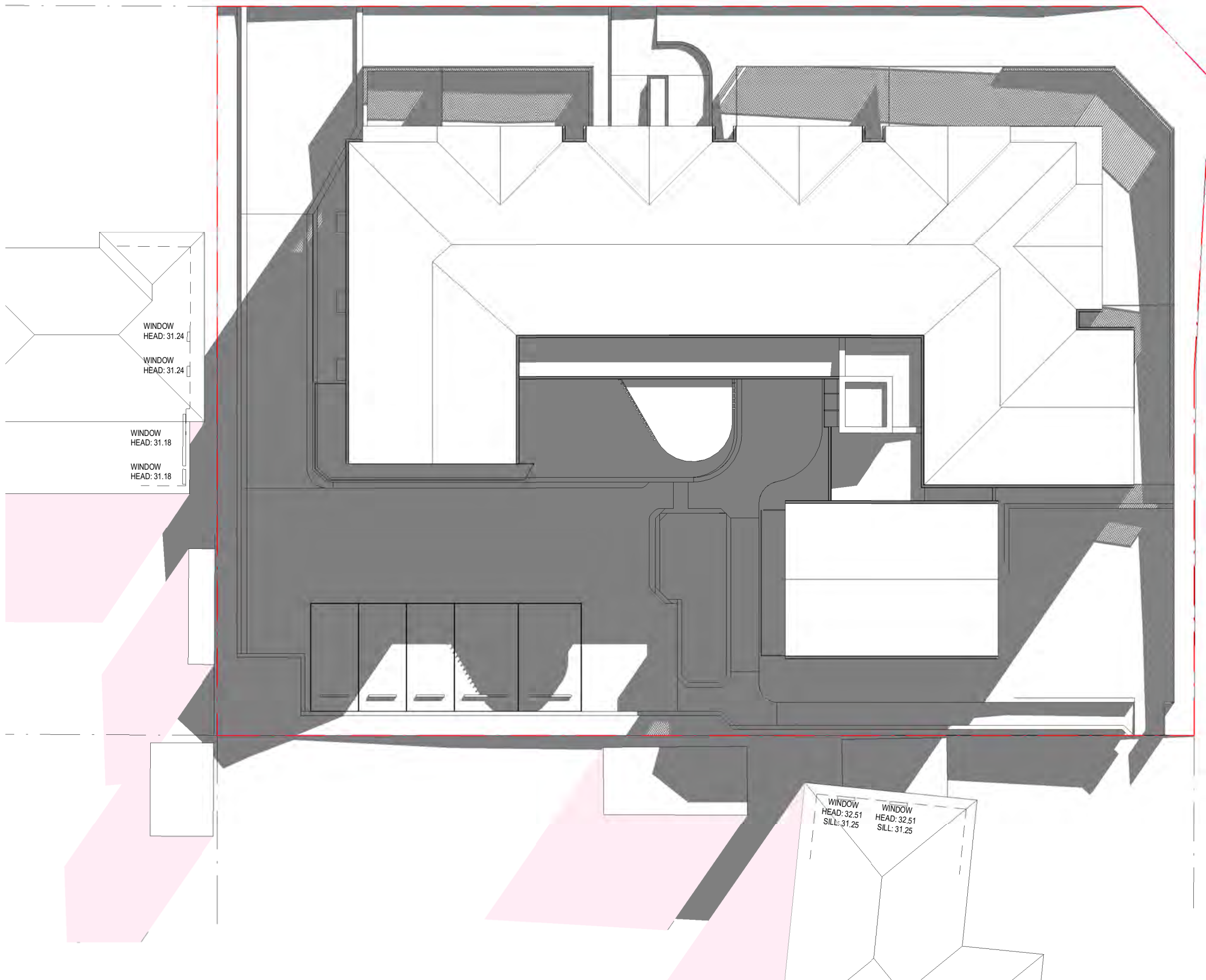
Project No.  
23035

Drawing No.  
DA-602



Rev.  
C







LEGEND

-  PINK AREA INDICATES EXISTING SHADOW CAST BY NEIGHBOURING PROPERTIES
-  GREY AREA INDICATES SHADOW CAST BY PROPOSED DEVELOPMENT

Project.

# Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
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Scale 1: 750

Scale (@A3)  
1: 200

Date.  
26.03.25

Drawing Title.  
SHADOW DIAGRAMS - 21ST  
JUNE 9AM

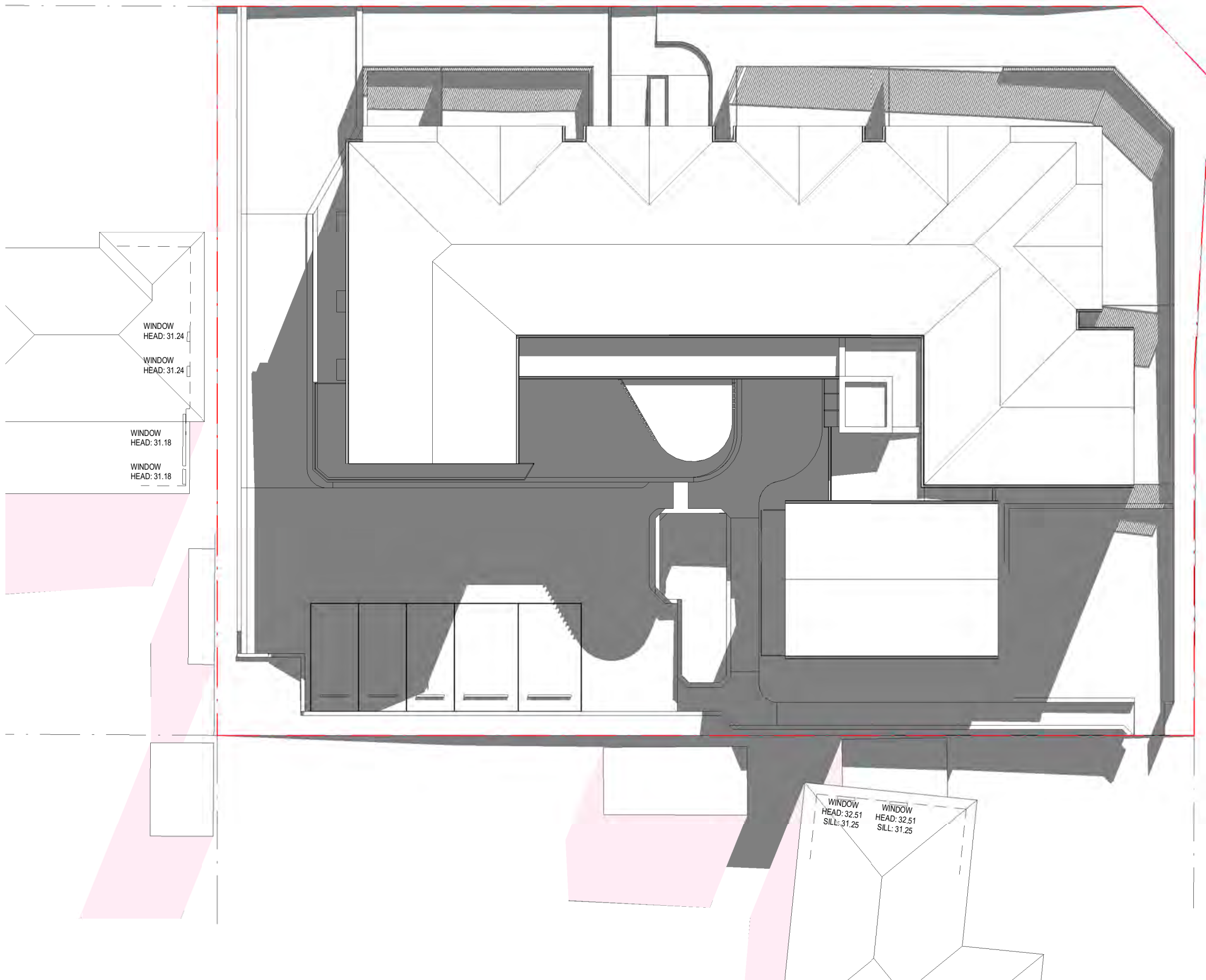
Project No.  
23035

Drawing No.  
DA-701.1



Rev.  
L







## LEGEND

-  PINK AREA INDICATES EXISTING SHADOW CAST BY NEIGHBOURING PROPERTIES
-  GREY AREA INDICATES SHADOW CAST BY PROPOSED DEVELOPMENT

Project.

# Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

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Scale 1: 750

0 3.75 7.5

Scale (@A3)

1: 200

15 22.5 30m

Date.  
26.03.25

Drawing Title  
SHADOW DIAGRAMS - 21ST  
JUNE 10AM

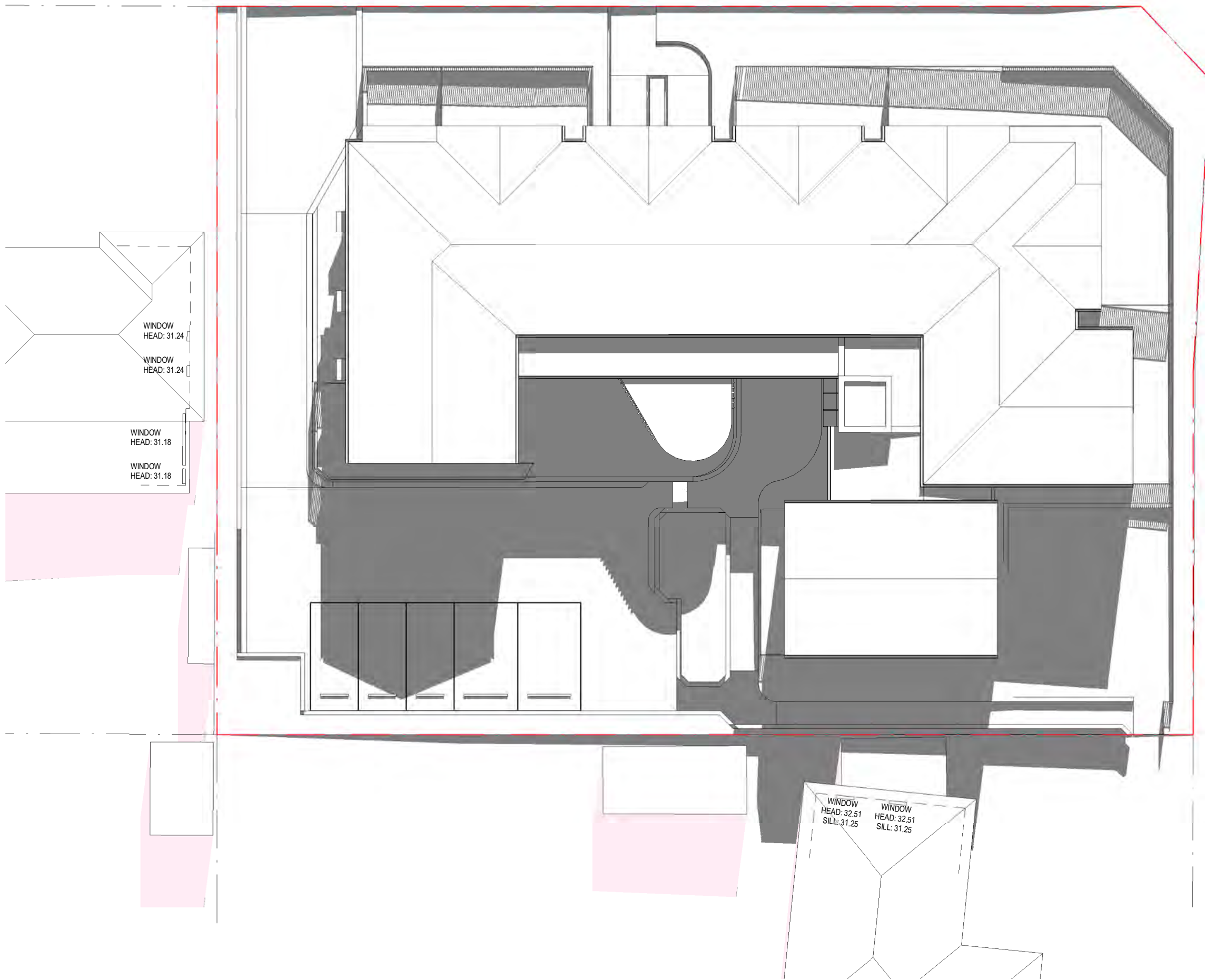
Project No.  
23035

Drawing No.  
DA-701.2

Rev.  
L







Project.

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North.



Scale (@A3)

1 : 200

Scale 1: 750



Date.

26.03.25

Drawing Title.

SHADOW DIAGRAMS - 21ST JUNE 11AM

Project No.

23035

Drawing No.

DA-701.3

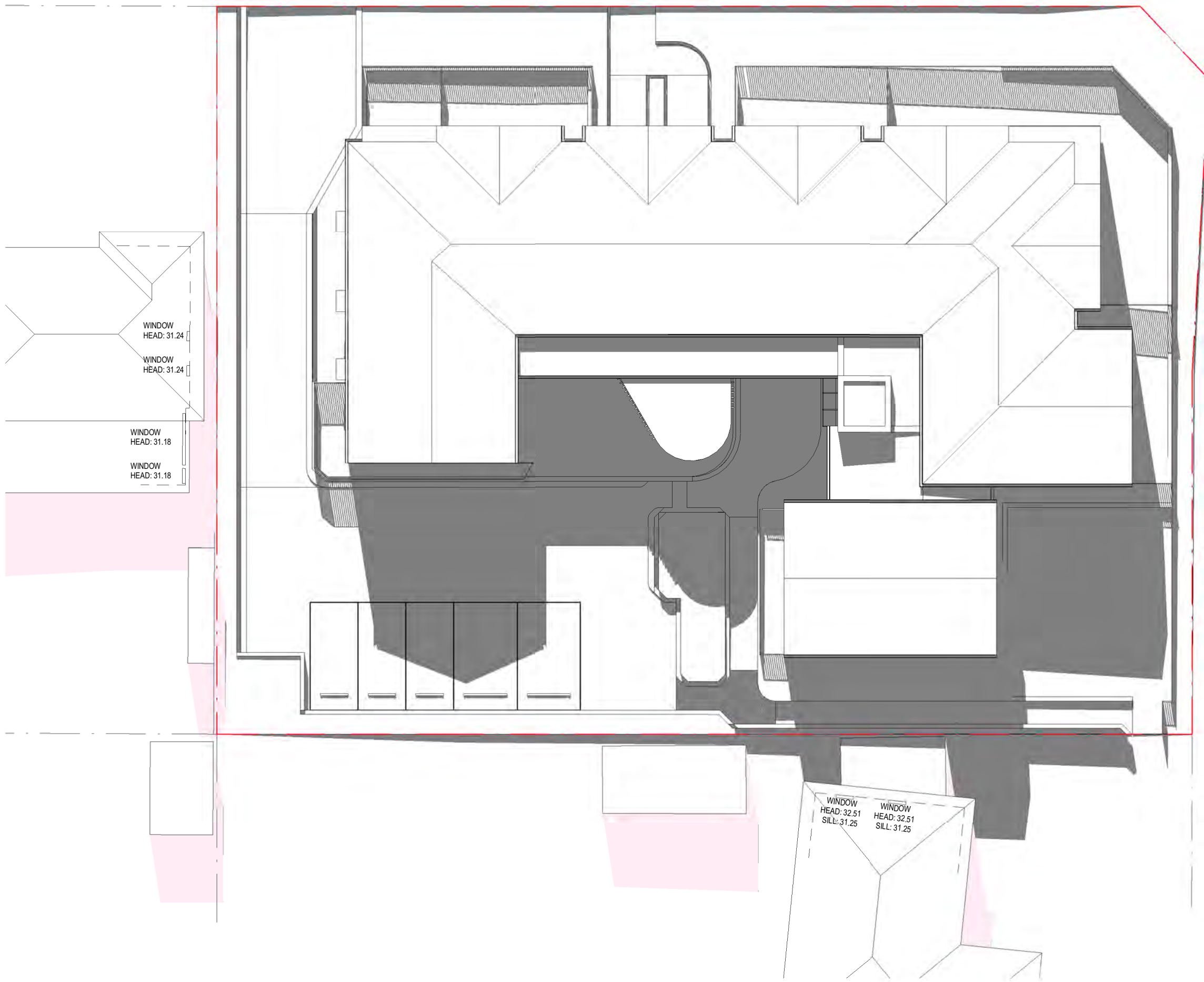
Rev.

L



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## LEGEND

-  PINK AREA INDICATES EXISTING SHADOW CAST BY NEIGHBOURING PROPERTIES
-  GREY AREA INDICATES SHADOW CAST BY PROPOSED DEVELOPMENT

WINDOW  
HEAD: 31.24  
WINDOW  
HEAD: 31.24  
WINDOW  
HEAD: 31.18  
WINDOW  
HEAD: 31.18

WINDOW  
HEAD: 32.51  
SILL: 31.25  
WINDOW  
HEAD: 32.51  
SILL: 31.25

Project.

# Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
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North. Scale 1: 750

0 3.75 7.5  
Scale (@A3)  
1: 200

15 22.5 30m  
Date.  
26.03.25

Drawing Title  
SHADOW DIAGRAM - 21ST JUN  
12PM

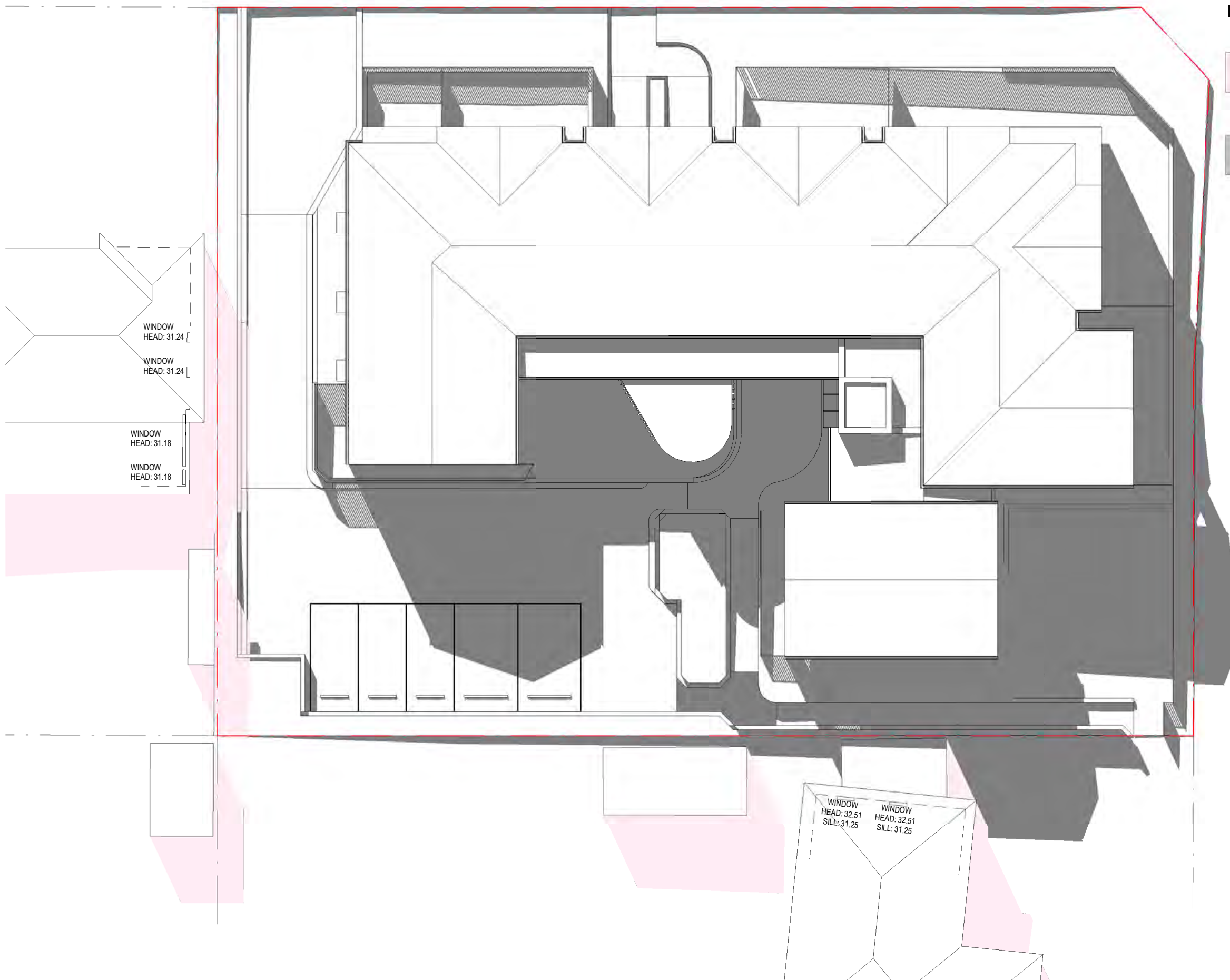
Project No.  
23035

Drawing No.  
DA-701.4

Rev.  
L







# LEGEND

- PINK AREA INDICATES EXISTING SHADOW CAST BY NEIGHBOURING PROPERTIES
- GREY AREA INDICATES SHADOW CAST BY PROPOSED DEVELOPMENT

Project.

## Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY SUBMISSION - BH273



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Not For Construction.

North. Scale 1: 750  
0 3.75 7.5  
Scale (@A3)  
1: 200

Date.  
26.03.25

Drawing Title.  
SHADOW DIAGRAM - 21ST JUNE 1PM

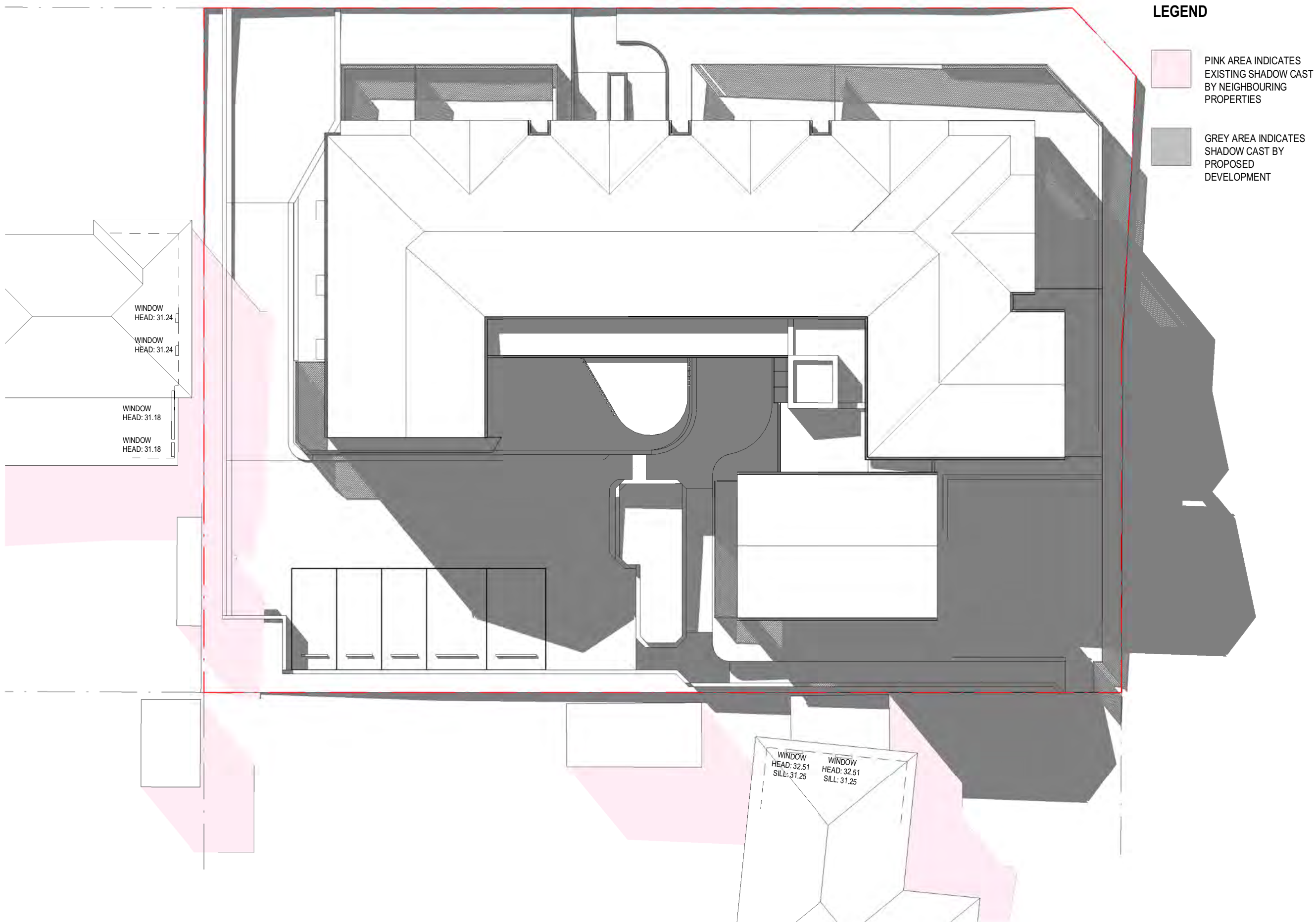
Project No.  
23035

Drawing No.  
DA-701.5

Rev.  
L







Project.

# Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY SUBMISSION -  
BH273



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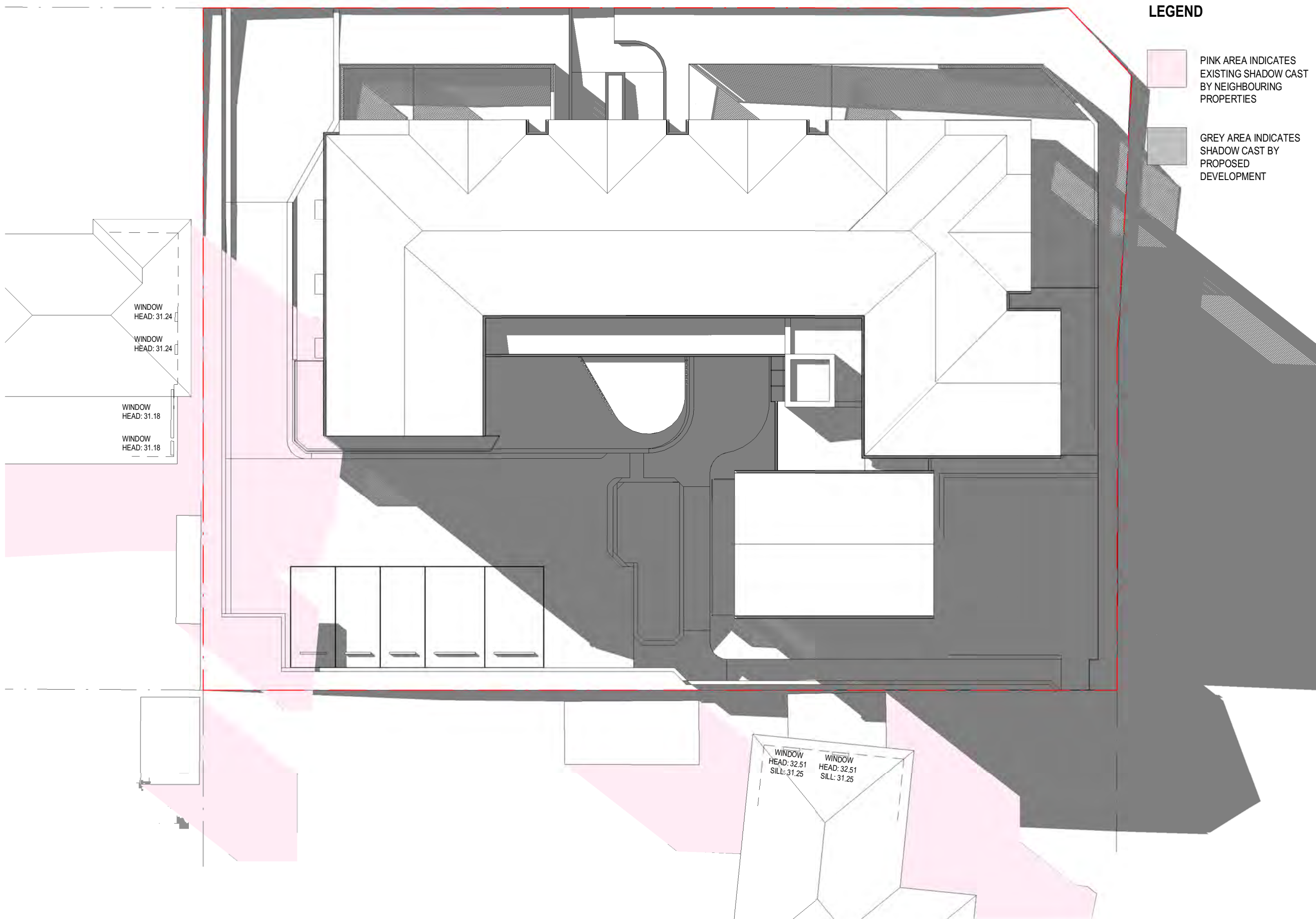
Not For Construction.

North. Scale 1: 750  
0 3.75 7.5 15 22.5 30m  
Scale (@A3) 1: 200  
Date. 26.03.25

Drawing Title  
**SHADOW DIAGRAM - 21ST JUNE 2PM**  
Project No. 23035  
Drawing No. DA-701.6  
Rev. L







Project.

# Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY SUBMISSION -  
BH273



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North.  
Scale 1: 750  
0 3.75 7.5 15 22.5 30m  
Scale (@A3)  
1: 200  
Date.  
26.03.25

Drawing Title.  
SHADOW DIAGRAM - 21ST JUNE  
3PM

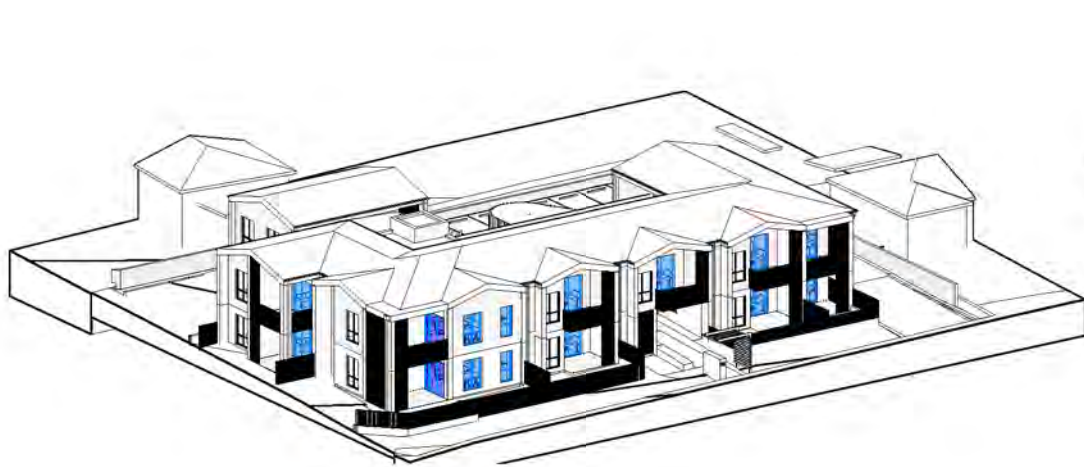
Project No.  
23035

Drawing No.  
DA-701.7

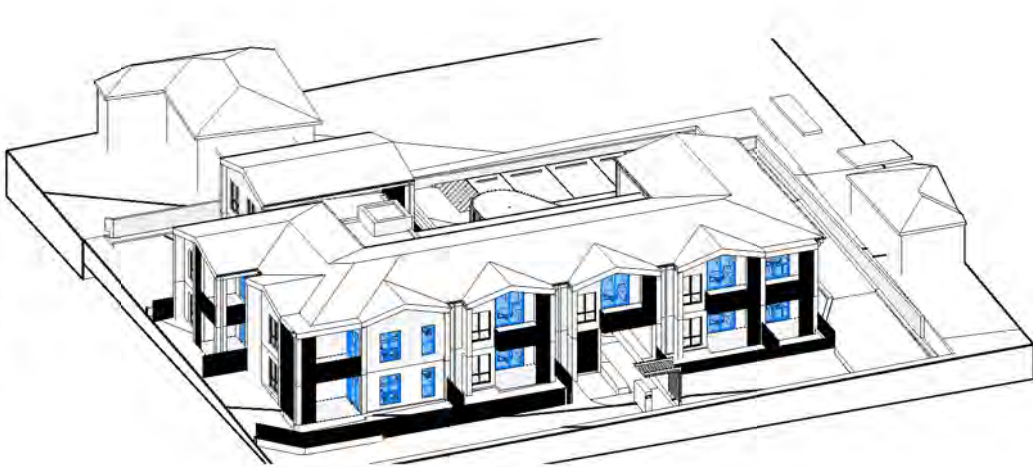
Rev.  
L







9am 21st JUNE



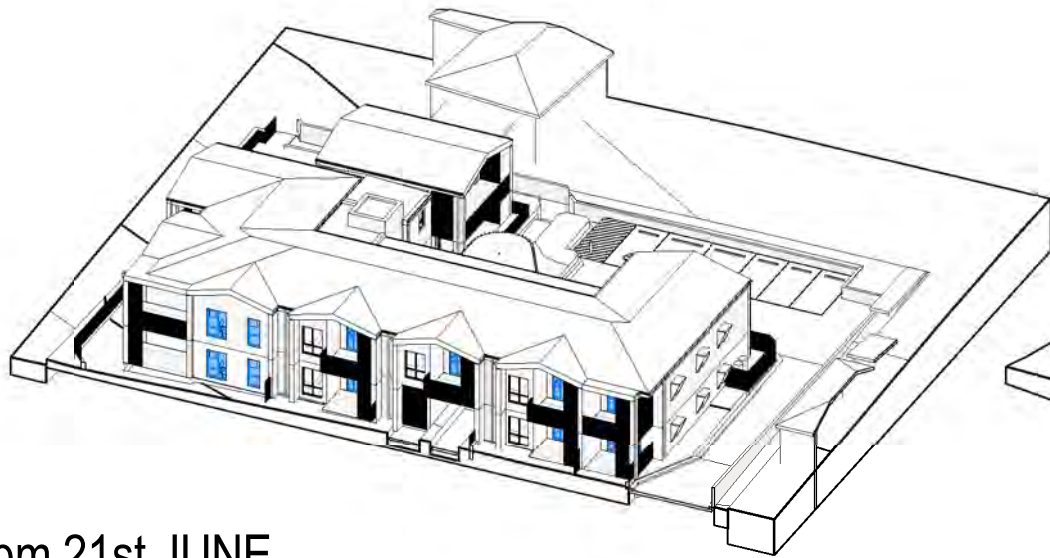
10am 21st JUNE



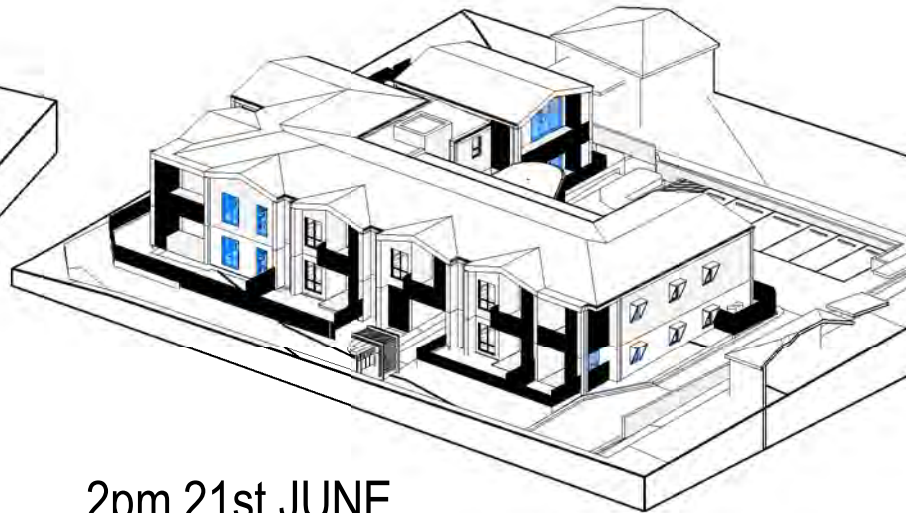
11am 21st JUNE



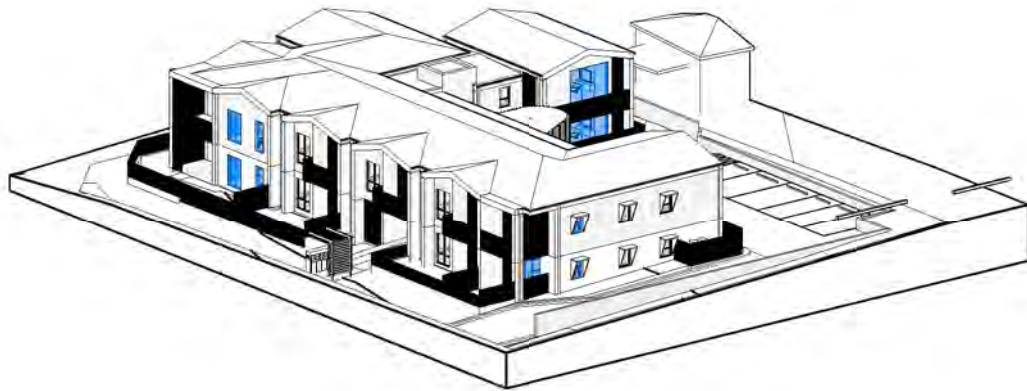
12pm 21st JUNE



1pm 21st JUNE



2pm 21st JUNE



3pm 21st JUNE

NOTE: LIVING ROOM WINDOWS  
SHADED BLUE FOR CLARITY

SOLAR COMPLIANCE TABLE

| UNIT NO. | PERIOD OF DIRECT SUN                  | TOTAL HOURS        |
|----------|---------------------------------------|--------------------|
| G.01     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM   | 5 HOURS<br>6 HOURS |
| G.02     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM   | 4 HOURS<br>5 HOURS |
| G.03     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM   | 4 HOURS<br>5 HOURS |
| G.04     | LIVING: 9AM - 3PM<br>POS: 9AM - 3PM   | 6 HOURS<br>6 HOURS |
| G.05     | LIVING: 9AM - 10AM<br>POS: 9AM - 11AM | 1 HOUR<br>2 HOURS  |
| G.06     | LIVING: 2PM - 3PM<br>POS: 12PM - 2PM  | 1 HOUR<br>2 HOURS  |

| UNIT NO. | PERIOD OF DIRECT SUN                      | TOTAL HOURS         |
|----------|---|---------------------|
| 1.01     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM       | 4 HOURS<br>5 HOURS  |
| 1.02     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM       | 4 HOURS<br>5 HOURS  |
| 1.03     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM       | 4 HOURS<br>5 HOURS  |
| 1.04     | LIVING: 9AM - 1PM<br>POS: 9AM - 2PM       | 4 HOURS<br>5 HOURS  |
| 1.05     | LIVING: 9AM - 3PM<br>POS: 9AM - 3PM       | 6 HOURS<br>6 HOURS  |
| 1.06     | LIVING: 9AM - 10AM<br>POS: 9AM - 11AM     | 1 HOUR<br>2 HOURS   |
| 1.07     | LIVING: 1.10PM - 3.10PM<br>POS: 1PM - 3PM | 2 HOURS*<br>2 HOURS |

UNIT 1.07 RECEIVES 2 HOURS SOLAR ACCESS BETWEEN 9AM AND 3.10PM

Project.

Canley Heights Seniors Housing

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY  
SUBMISSION - BH273



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North.



Scale (@A3)

Date.  
26.03.25

Drawing Title.  
SOLAR VIEW DIAGRAMS

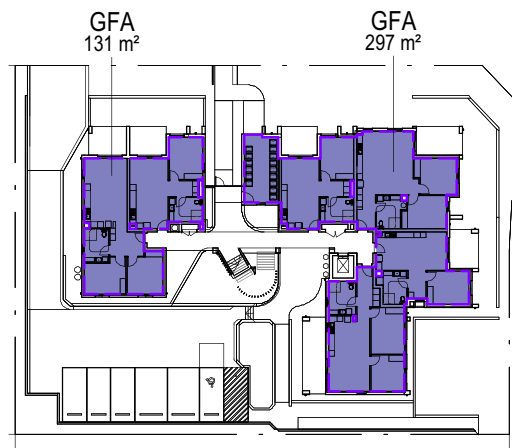
Project No.  
23035

Drawing No.  
DA-702

Rev.  
K





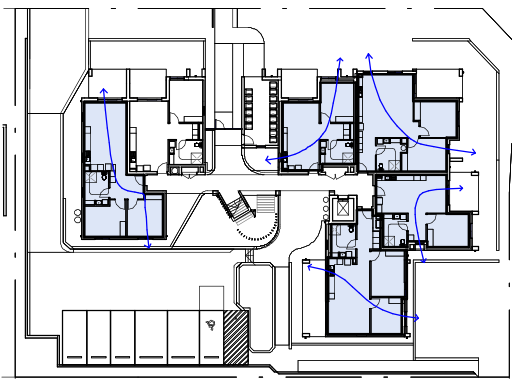


1 GFA - GROUND LEVEL  
DA-703 1:750

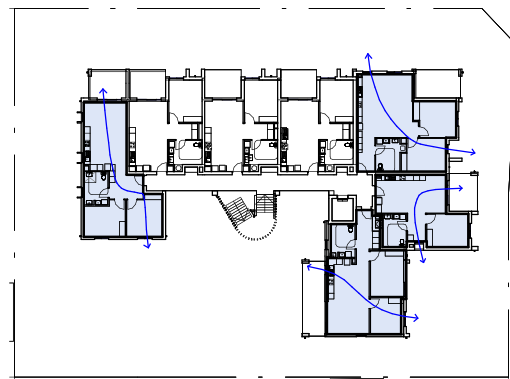


2 GFA - LEVEL 1  
DA-703 1:750

**GFA SUMMARY**  
GROUND FLOOR: 428m<sup>2</sup>  
LEVEL 1: 467m<sup>2</sup>  
TOTAL GFA: 895m<sup>2</sup>  
FSR: 0.50 : 1

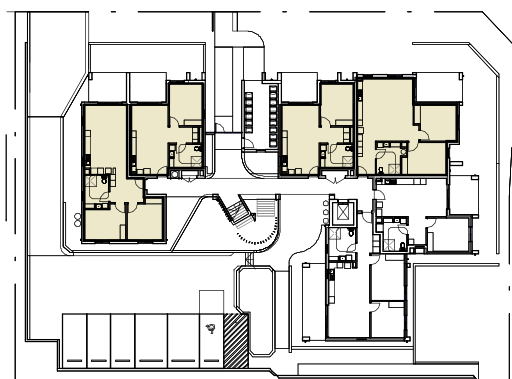


3 CROSS VENTILATION - GROUND LEVEL  
DA-703 1:750



4 CROSS VENTILATION - LEVEL 1  
DA-703 1:750

**CROSS VENTILATION COMPLIANCE:**  
9 UNITS OUT OF 13 (69%)



5 SOLAR 2 HRS - GROUND LEVEL  
DA-703 1:750



6 SOLAR 2 HRS - LEVEL 1  
DA-703 1:750

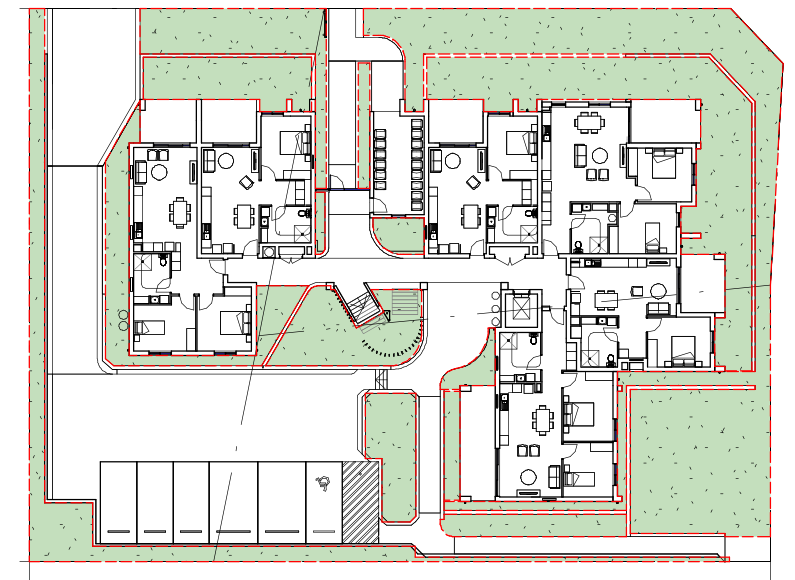
**2 HOUR SOLAR ACCESS COMPLIANCE:**  
10 UNITS OUT OF 13 (77%)



7 POS - GROUND LEVEL  
DA-703 1:750

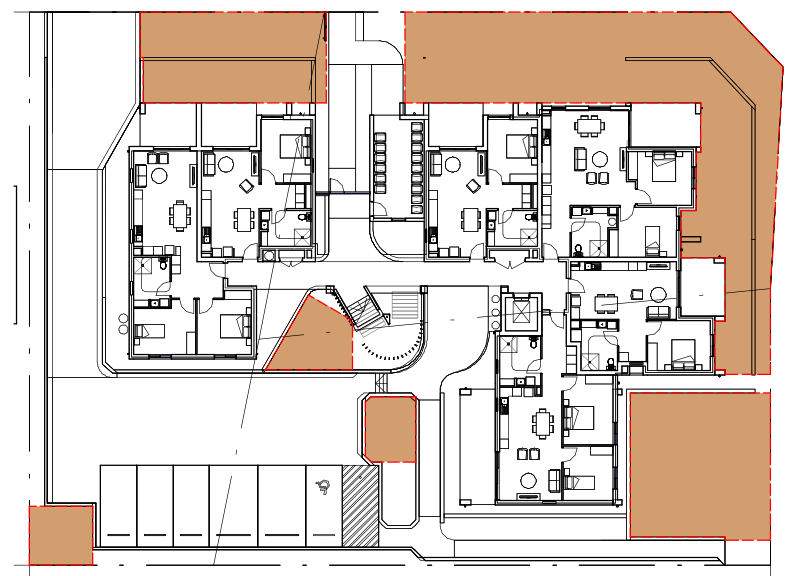


8 POS - LEVEL 1  
DA-703 1:750



9 LANDSCAPED AREA  
DA-703 1:500

**LANDSCAPE AREA COMPLIANCE:**  
640m<sup>2</sup> (36% OF SITE AREA)



10 DEEP SOIL  
DA-703 1:500

**DEEP SOIL COMPLIANCE (MINIMUM DEPTH 3m):**  
437m<sup>2</sup> (24% OF SITE AREA)

**SITE AREA: 1795.8m<sup>2</sup>**

Project.

**Canley Heights Seniors Housing**

Address.  
26-28 Stevenage Rd & 53 Welwyn Rd, Canley Heights NSW

Client.  
Homes NSW.

Status.  
PART 5 ACTIVITY SUBMISSION -  
BH273



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North.



Scale (@A3)  
As indicated

Date.  
02.04.25

Drawing Title.  
**COMPLIANCE DIAGRAMS**

Project No.  
23035

Drawing No.  
DA-703

Rev.  
L





| Regulated Design Record  |               |                        |              |        |
|--|---------------|------------------------|--------------|--------|
| Project Address: 26-28 STEVENAGE RD & 53 WELWYN RD CANLEY HEIGHTS NSW 2166 |               |                        |              |        |
| Project Title: Seniors Housing Development                                 |               |                        |              |        |
| Consent No: BH273-??7??7???  |               | Body Corporate Reg No: |              |        |
| Drawing Title: CUT & FILL PLAN   |               | Drawing No: Sheet 01   |              |        |
| Rev  | Date dd/mm/yy | Description            | DP Full Name | Reg No |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |
|  |               |                        |              |        |



| Surface Analysis: Elevation Ranges |                |                       |                       |              |             |
|------------------------------------|----------------|-----------------------|-----------------------|--------------|-------------|
| Number                             | Color          | Minimum Elevation (m) | Maximum Elevation (m) | 2D Area (m²) | Volume (m³) |
| 1                                  | Red            | -2.000                | -1.800                | 2.9          | 0.1         |
| 2                                  | Orange         | -1.800                | -1.600                | 24.0         | 2.5         |
| 3                                  | Yellow         | -1.600                | -1.400                | 49.9         | 10.6        |
| 4                                  | Light Green    | -1.400                | -1.200                | 37.0         | 19.2        |
| 5                                  | Green          | -1.200                | -1.000                | 43.5         | 26.1        |
| 6                                  | Light Blue     | -1.000                | -0.800                | 133.2        | 41.8        |
| 7                                  | Blue           | -0.800                | -0.600                | 230.7        | 80.1        |
| 8                                  | Dark Blue      | -0.600                | -0.400                | 308.1        | 133.0       |
| 9                                  | Very Dark Blue | -0.400                | -0.200                | 304.5        | 197.5       |
| 10                                 | Black          | -0.200                | 0.000                 | 212.3        | 250.3       |
| 11                                 | White          | 0.000                 | 0.200                 | 88.5         | 16.0        |
| 12                                 | Light Grey     | 0.200                 | 0.400                 | 36.4         | 3.9         |
| 13                                 | Medium Grey    | 0.400                 | 0.600                 | 4.3          | 0.1         |
| 14                                 | Dark Grey      | 0.600                 | 0.800                 | 0.1          | 0.0         |
| 15                                 | Black          | 0.800                 | 1.000                 | 0.0          | 0.0         |

ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.

- ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.
- CUT/FILL ELEVATIONS SHOWN COLOURED ARE THE CUT/FILL LEVEL DIFFERENCE BETWEEN ORIGINAL NATURAL GROUND ONSITE COMPARED TO THE FINISHED CUT OR FILL BULK EXCAVATION LEVEL UNDER SLABS AND TOP OF LANDSCAPING/COMMONAL AREAS.
- BORED PIERS, STRIP FOOTINGS, RETAINING WALL FOOTINGS & UNDERGROUND RAINWATER TANK EXCAVATION HAS NOT BEEN ALLOWED FOR IN CUT AND FILL PLAN (BUILDER TO CONFIRM ONSITE).
- CONTRACTOR TO ALLOW FOR ANY ADDITIONAL EXCAVATION. CONTRACTOR TO ALLOW FOR STORMWATER PITS, PIPE & SERVICES TRENCHES. ALL SITE GRADING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CUT AND FILL MAY VARY ON SITE DUE TO SITE CONSTRUCTION WORKS SUCH AS PIPE TRENCHING AND CONSTRUCTION SEQUENCES.

- DO NOT SCALE FROM DRAWINGS, USE WRITTEN DIMENSIONS ONLY.
- NUMBER TO CHECK & CORRECT ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IF AT THE ONSEER RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS REVIEWED SURVEY, CONDITIONS & DETERMINED ALL DIMENSIONS & LEVELS TO BE SET.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFORMANCE & MUST NOT BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORIZED BY MSL CONSULTING ENGINEERS.



LEVEL 4, 12 DARCY STREET  
PARRAMATTA NSW 2150  
PHONE No: (02) 9354 1836



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P: (02) 9354 1836  
E: info@mslconsulting.com.au  
W: www.mslconsulting.com.au

| REV | DATE       | DESCRIPTION                |
|-----|------------|----------------------------|
| 1   | 13/02/2025 | PART 5 ACTIVITY SUBMISSION |
| 2   | 13/12/2024 | REVISED FOR DA             |
| 3   | 04/12/2024 | REVISED FOR DA             |
| 4   | 13/02/2025 | REVISION AMENDMENT         |

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

|   |  |
|---|--|
| CLIENT PROJECT MANAGER<br><b>HOMES NSW</b><br>PH 02 9354 1836 | PROJECT CONSULTANT<br><b>MSL CONSULTING ENGINEERS PTY LTD</b><br>PH 02 9354 1836 |
| DESIGNER<br><b>BEICOM</b><br>PH 02 9354 1836                  | PROJECT CONSULTANT<br><b>ERBAS</b><br>PH 02 9354 1836                            |
| PROJECT MANAGER<br><b>ERBAS</b><br>PH 02 9354 1836            | PROJECT CONSULTANT<br><b>GREENLAND DESIGN PTY LTD</b><br>PH 02 9354 1836         |

|  |
|--|
| PROJECT PARTNER<br><b>NSW GOVERNMENT</b> |
|--|



|  |
|--|
| PROJECT<br><b>SENIORS HOUSING DEVELOPMENT</b>  |
| at<br><b>LOTS 52, 53 &amp; 54 IN DP 225999</b><br><b>26-28 STEVENAGE ROAD &amp; 53 WELWYN ROAD</b><br><b>CANLEY HEIGHTS NSW 2166</b> |

| TITLE             |  | DATE       |  | SCALE      |  | PART 5 ACTIVITY SUBMISSION |  |
|-------------------|--|------------|--|------------|--|----------------------------|--|
| CUT AND FILL PLAN |  | 13/02/25   |  | 1:200 @ A1 |  | BH273                      |  |
| F.L.C.            |  | C          |  | WT         |  | MP                         |  |
| PLOTED            |  | 13/02/2025 |  | 1 of 1     |  | C                          |  |